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**LEGEND**

REV	DATE	DESCRIPTION
1	20230105	ISSUE FOR DA
2	20231028	ISSUE FOR DA
3	20231106	ISSUE FOR COORDINATION
4	20231115	ISSUE FOR DA
5	20231121	ISSUE FOR DA
6	20230903	ISSUE FOR CONSULTANT COORDINATION
7	20230807	ISSUE FOR REVIEW
8	20230802	ISSUE FOR REVIEW
9	20230710	ISSUE FOR DA

REV	DATE	DESCRIPTION
1	20230105	ISSUE FOR DA
2	20231028	ISSUE FOR DA
3	20231106	ISSUE FOR COORDINATION
4	20231115	ISSUE FOR DA
5	20231121	ISSUE FOR DA
6	20230903	ISSUE FOR CONSULTANT COORDINATION
7	20230807	ISSUE FOR REVIEW
8	20230802	ISSUE FOR REVIEW
9	20230710	ISSUE FOR DA

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ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

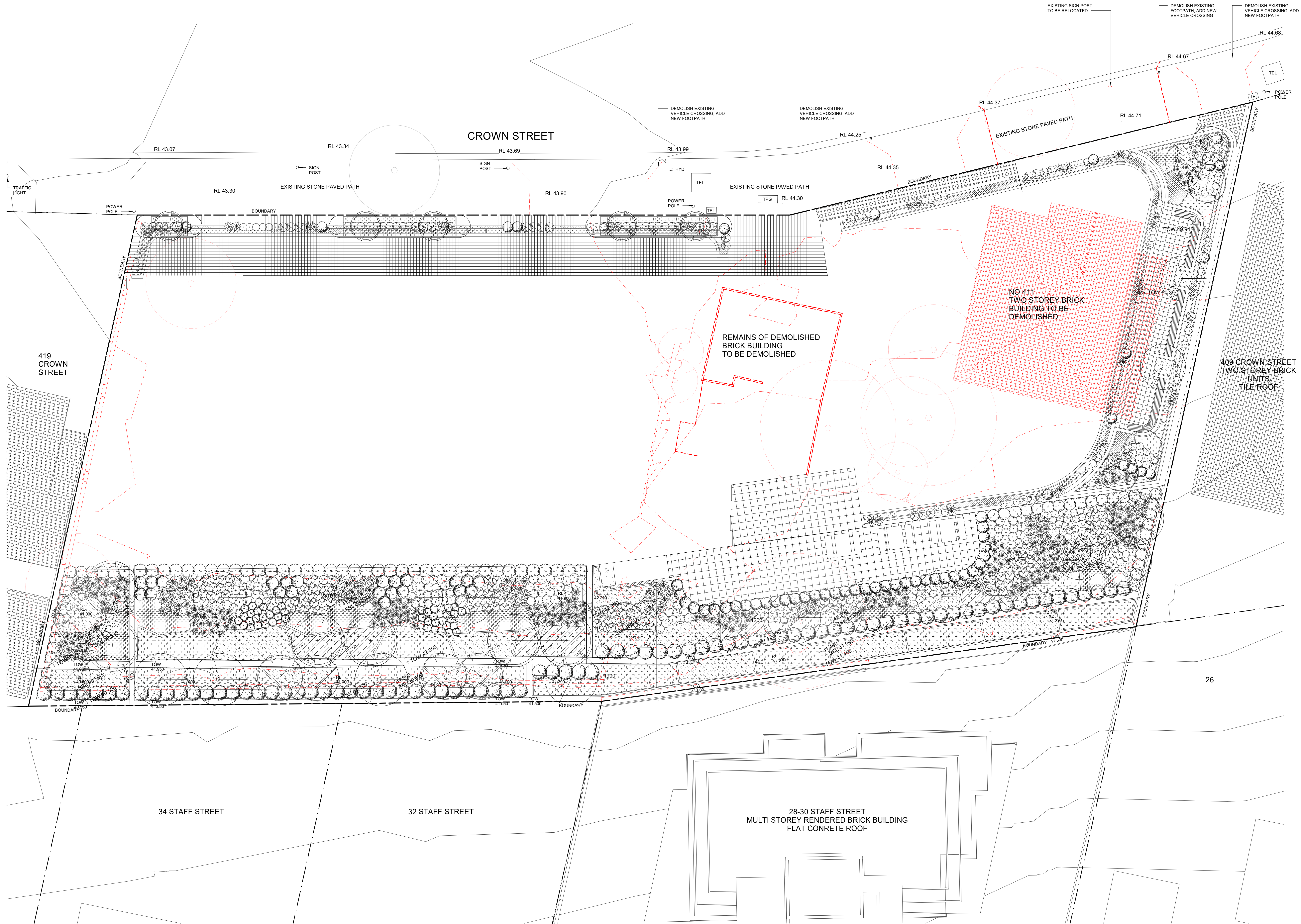
**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Site Plan

**SCALE @ B1** 1:200 **DATE** MAY 2020  
**DRAWN BY** NM **PROJECT** 16011

**DA0003** **9**



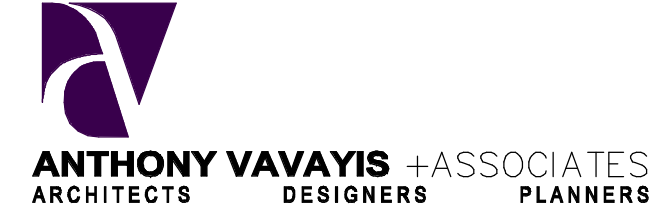


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**LEGEND**

REV	DATE	DESCRIPTION
7	2020/07/10	ISSUE FOR DA
6	2020/06/07	ISSUE FOR REVIEW
5	2020/05/03	ISSUE FOR CONSULTANT COORDINATION
4	2020/11/15	ISSUE FOR DA
3	2021/08/06	ISSUE FOR COORDINATION
2	2021/05/28	ISSUE FOR DA
1	2020/05/05	ISSUE FOR DA

**REVISION**



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ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Demolition Plan

**SCALE @ B1** 1:100 **DATE** MAY 2020  
**DRAWN BY** Author **PROJECT** 16011

**DA0005** **7**



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LEGEND	
CAR PARKING SPACES	187
ACCESSIBLE PARKING SPACES	4
MOTORCYCLE PARKING SPACES	13
AMBULANCE BAY	1
TOTAL	205
BICYCLE PARKING SPACES	8



1 Basement 4  
1 : 100

REVISION	
REV	DATE
1	2020/01/01
2	2020/01/01
3	2020/01/01
4	2020/01/01
5	2020/01/01
6	2020/01/01
7	2020/01/01

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**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**DRAWING TITLE**  
Basement 4

**SCALE @ B1 As indicated** DATE MAY 2020  
**DRAWN BY DL** PROJECT 16011

**DA1001** 7

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LEGEND	
CAR PARKING SPACES	187
ACCESSIBLE PARKING SPACES	4
MOTORCYCLE PARKING SPACES	13
AMBULANCE BAY	1
TOTAL	205
BICYCLE PARKING SPACES	8



1 Basement 3  
1 : 100

REVISION	
rev	date
7	2020/07/10
6	2020/06/07
5	2020/05/29
4	2020/11/15
3	2021/08/06
2	2021/05/28
1	2020/05/28

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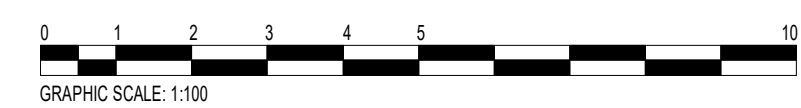
**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Basement 3

**SCALE @ B1 As indicated** **DATE** MAY 2020  
**DRAWN BY DL** **PROJECT** 16011

**DA1002** 7







1 Basement 2  
1 : 100

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LEGEND	
CAR PARKING SPACES	187
ACCESSIBLE PARKING SPACES	4
MOTORCYCLE PARKING SPACES	13
AMBULANCE BAY	1
TOTAL	205
BICYCLE PARKING SPACES	8

REVISION	
7	20200710 ISSUE FOR DA
6	20200607 ISSUE FOR REVIEW
5	20200503 ISSUE FOR CONSULTANT COORDINATION
4	20201115 ISSUE FOR DA
3	20211006 ISSUE FOR CONSULTANT COORDINATION
2	20210208 ISSUE FOR DA
1	20200105 ISSUE FOR DA
REV	DATE

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**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Basement 2

**SCALE @ B1 As indicated DATE** MAY 2020  
**DRAWN BY DL PROJECT** 16011

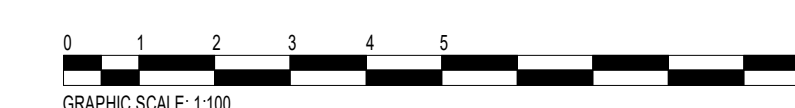
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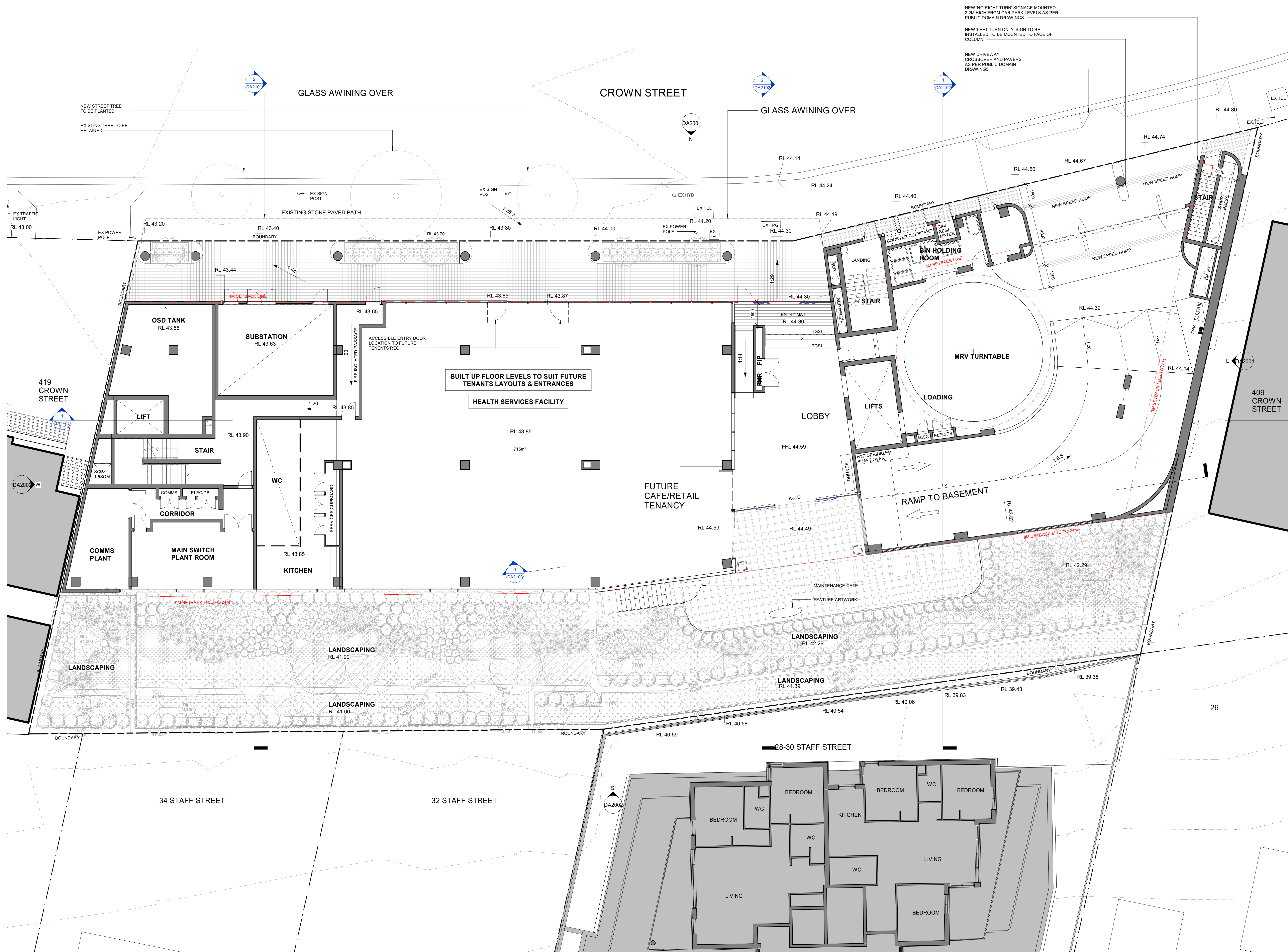
<b>LEGEND</b>	
CAR PARKING SPACES	187
ACCESSIBLE PARKING SPACES	4
MOTORCYCLE PARKING SPACES	13
AMBULANCE BAY	1
<b>TOTAL</b>	<b>205</b>
<hr/>	
BICYCLE PARKING SPACES	8



DA1004 8







NEW NO RIGHT TURN SIGNAGE MOUNTED  
2.5M HIGH FROM CAR PARK LEVELS AS PER  
PUBLIC DOMAIN DRAWINGS

NEW LEFT TURN ONLY SIGN TO BE  
INSTALLED TO BE MOUNTED TO FACE OF  
COLUMN

NEW DRIVEWAY  
CROSSOVER AND PAVERS  
AS PER PUBLIC DOMAIN  
DRAWINGS

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REVISION	
12	2023/01/10 ISSUE FOR DA
11	2023/04/22 ISSUE FOR REVIEW
10	2023/04/27 ISSUE FOR REVIEW
9	2023/04/23 ISSUE FOR CONSULTANT COORDINATION
8	2023/03/03 ISSUE FOR DA COUNCIL REF 2300231
7	2023/11/11 ISSUE FOR DA
6	2023/11/15 ISSUE FOR DA
5	2023/11/06 ISSUE FOR COORDINATION
4	2023/10/28 ISSUE FOR DA
3	2023/09/28 ISSUE FOR COORDINATION
REV	DATE

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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Ground Floor Plan

**SCALE @ B1 1:100** **DATE** MAY 2020  
**DRAWN BY DL** **PROJECT** 16011

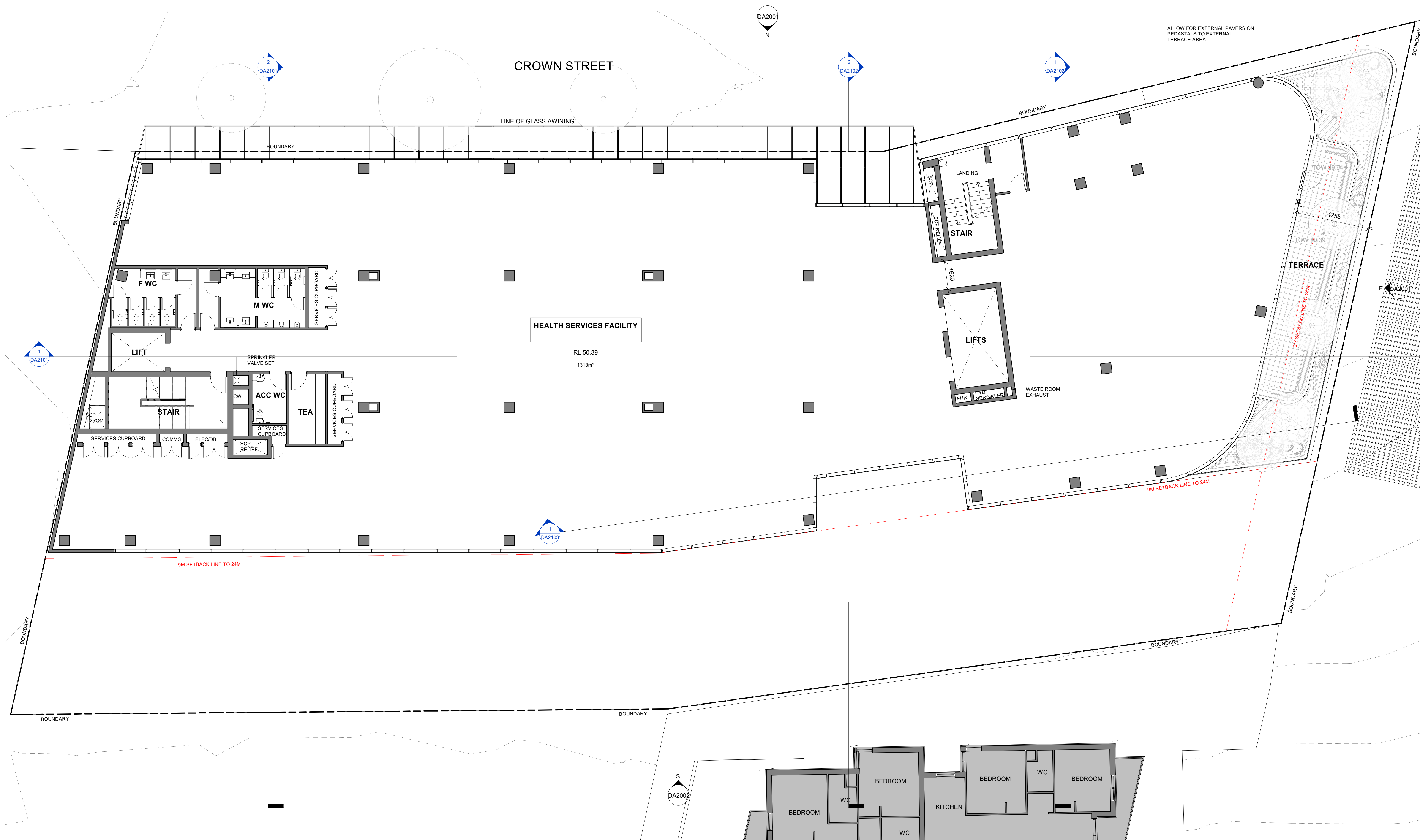
**DA1005** **12**

**1** **Ground Floor**  
1 : 100



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LEGEND



1 Level 1  
1 : 100

REV	DATE	DESCRIPTION
7	2023/07/10	ISSUE FOR DA
6	2023/06/07	ISSUE FOR REVIEW
5	2023/05/03	ISSUE FOR CONSULTANT COORDINATION
4	2023/11/15	ISSUE FOR DA
3	2023/11/06	ISSUE FOR COORDINATION
2	2023/10/26	ISSUE FOR DA
1	2023/10/05	ISSUE FOR DA

REVISION

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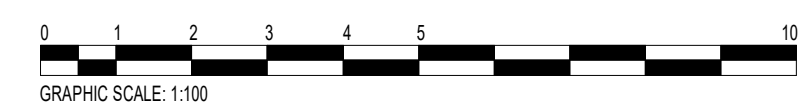
PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Level 1

SCALE @ B1 1 : 100 DATE MAY 2020  
DRAWN BY DL PROJECT 16011

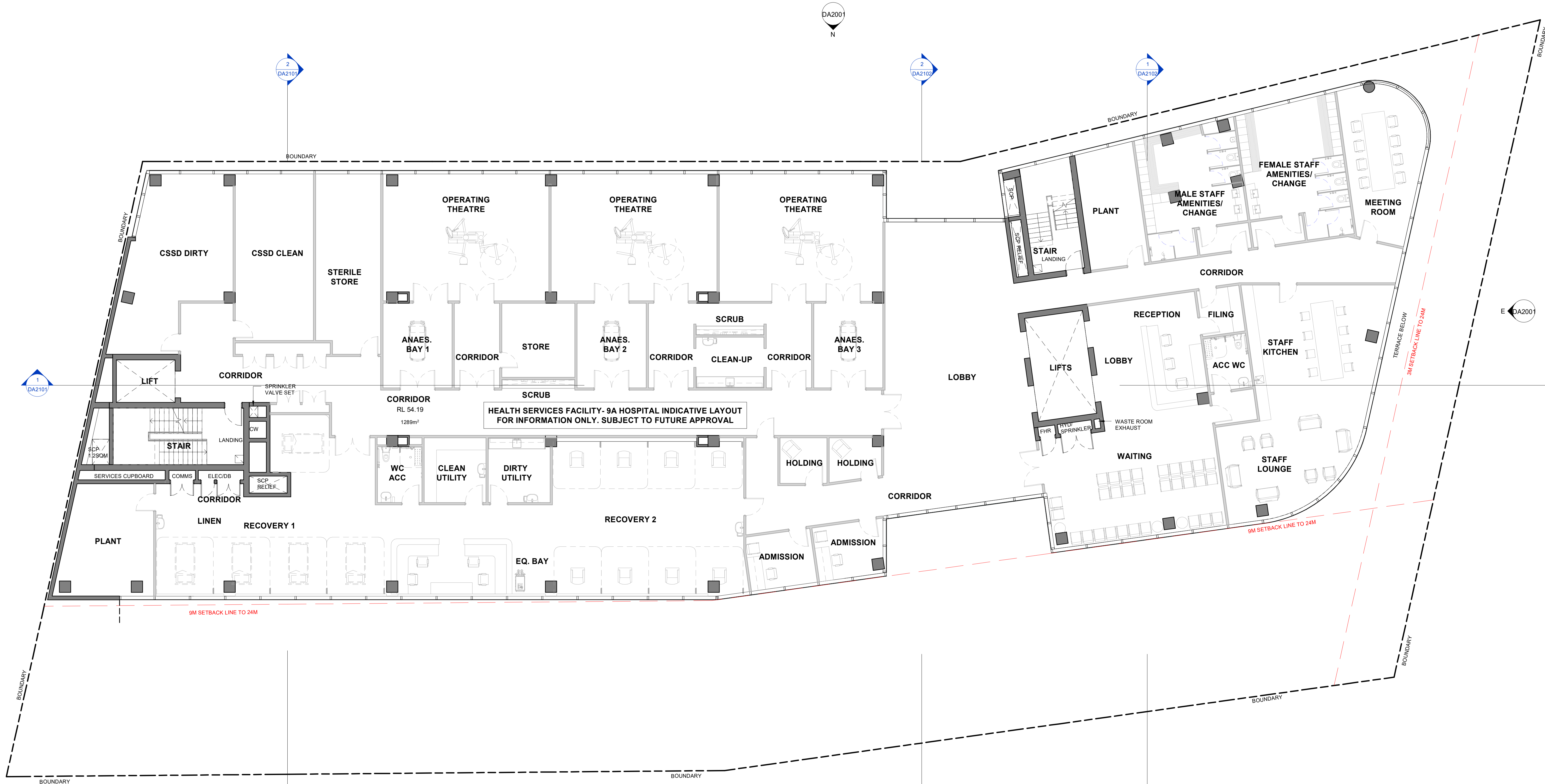
DA1006 7





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LEGEND



1 Level 2  
1:100

REV	DATE	AMENDMENT
7	2020/07/10	ISSUE FOR DA
6	2020/06/07	ISSUE FOR REVIEW
5	2020/05/23	ISSUE FOR CONSULTANT COORDINATION
4	2020/11/15	ISSUE FOR DA
3	2021/10/06	ISSUE FOR COORDINATION
2	2021/05/28	ISSUE FOR DA
1	2020/05/25	ISSUE FOR DA

REVISION



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ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

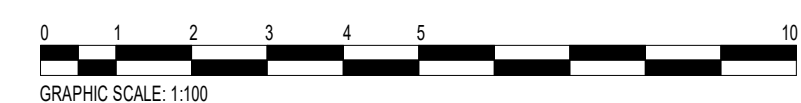
PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Level 2

SCALE @ B1 1:100 DATE MAY 2020  
DRAWN BY DL PROJECT 16011

DA1007 7





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LEGEND



1 Level 3  
1 : 100

REV	DATE	DESCRIPTION
7	2020/07/10	ISSUE FOR DA
6	2020/06/07	ISSUE FOR REVIEW
5	2020/05/03	ISSUE FOR CONSULTANT COORDINATION
4	2020/11/15	ISSUE FOR DA
3	2021/08/06	ISSUE FOR COORDINATION
2	2021/05/28	ISSUE FOR DA
1	2020/01/02	ISSUE FOR DA

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ACN 089 737 935

NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE  
Proposed Medical Facility

411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Level 3

SCALE @ B1 1 : 100 DATE MAY 2020

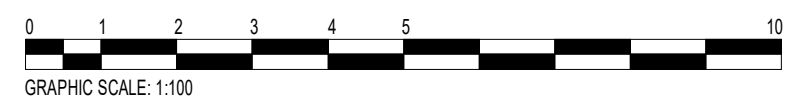
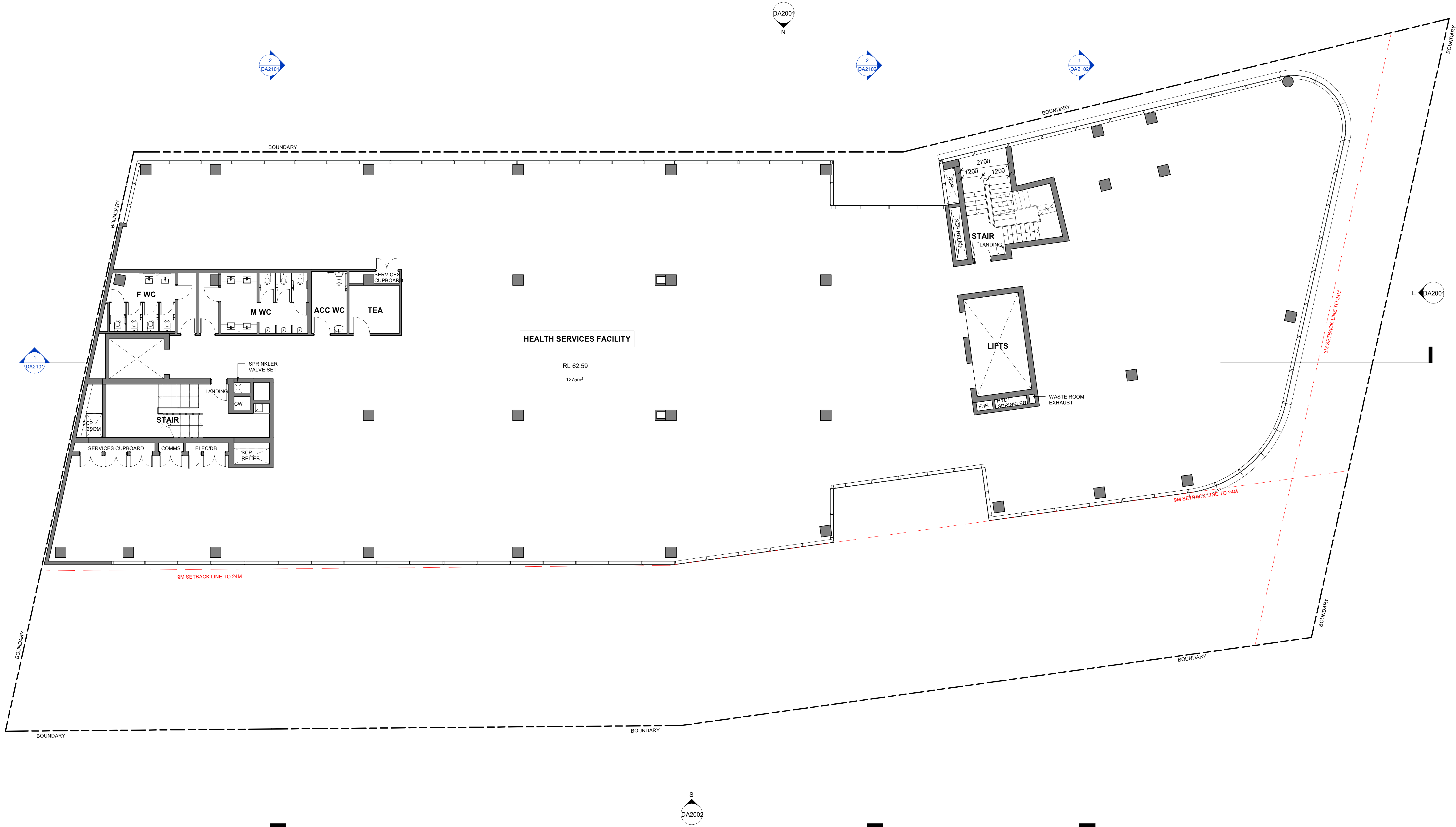
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DA1008 7



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LEGEND



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2	2021/05/28	ISSUE FOR DA
1	2020/05/05	ISSUE FOR DA

REVISION

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24 LIME STREET KING STREET WHARF  
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**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Level 4

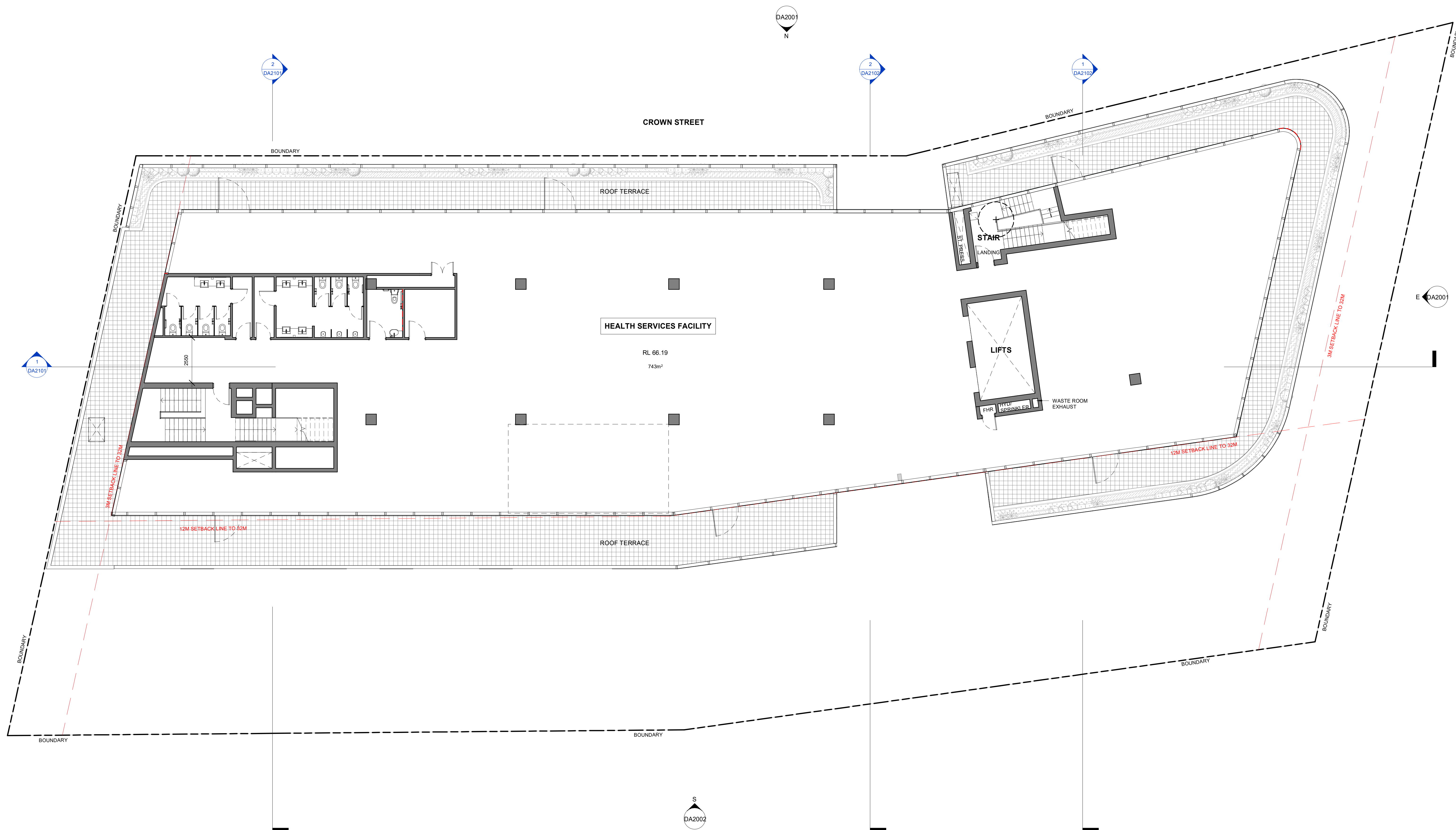
**SCALE @ B1 1:100** **DATE** MAY 2020  
**DRAWN BY DL** **PROJECT** 16011

**DA1009** **7**



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1	2020/10/25	ISSUE FOR DA

**REVISION**



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ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

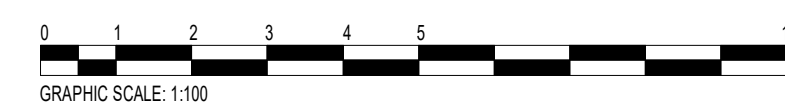
**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Level 5

**SCALE @ B1 1:100** **DATE** MAY 2020  
**DRAWN BY DL** **PROJECT** 16011

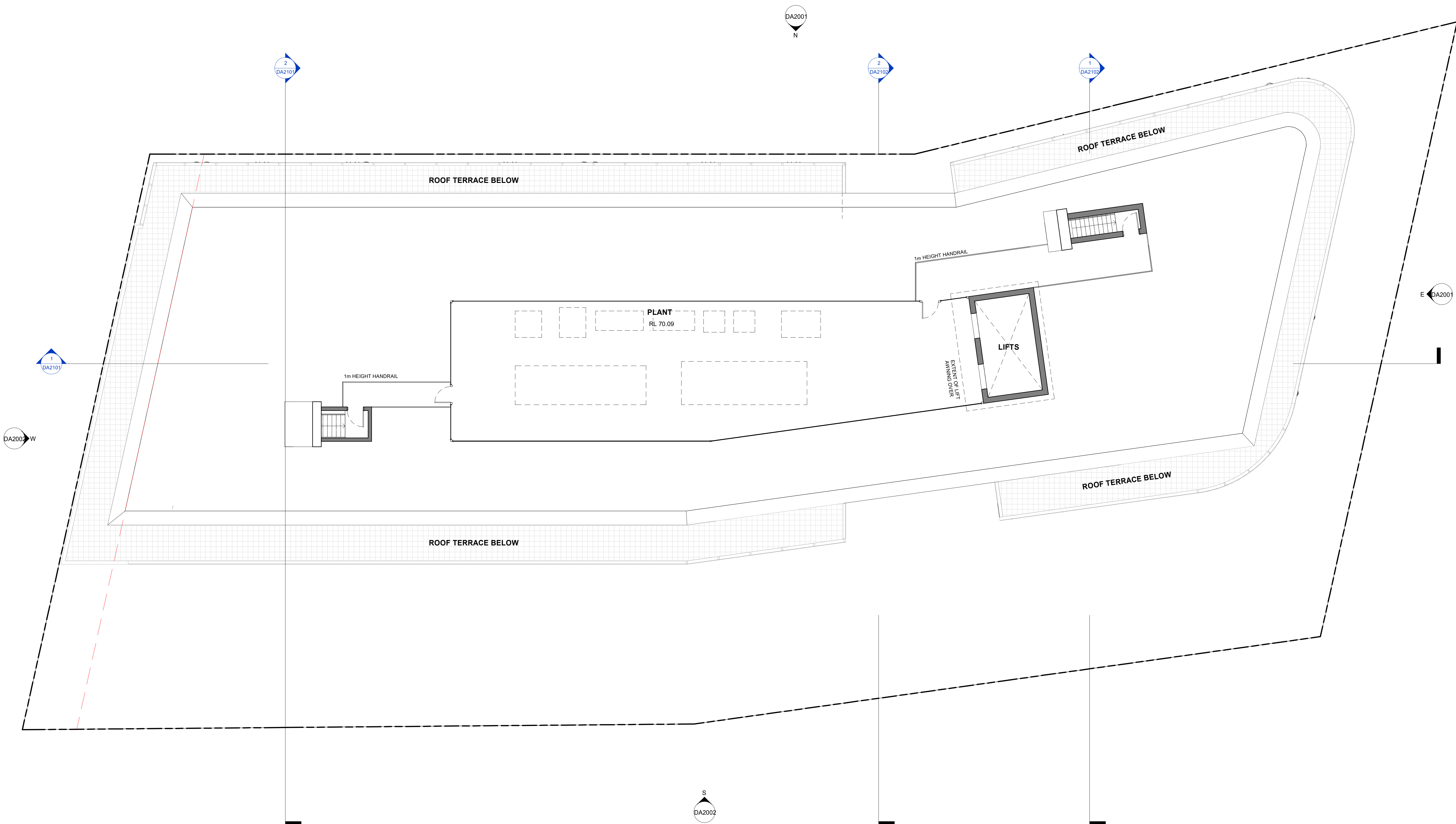
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LEGEND



1 DA - Level 6 Floor Plan  
1 : 100

REV	DATE	AMENDMENT
8	20200710	ISSUE FOR DA
7	20200607	ISSUE FOR REVIEW
6	20200503	ISSUE FOR CONSULTANT COORDINATION
5	20201115	ISSUE FOR DA
4	20201109	ISSUE FOR COORDINATION
3	20201028	ISSUE FOR DA
2	20201026	ISSUE FOR COORDINATION
1	20200705	ISSUE FOR DA

REVISION



24 LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
E: admin@avarchitects.com.au T: 02 9290 1810  
F: 02 9290 1860 W: www.avarchitects.com.au  
P: 20/26A LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd


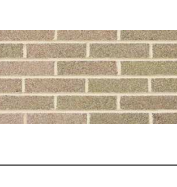
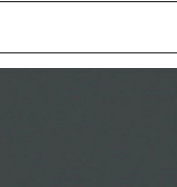
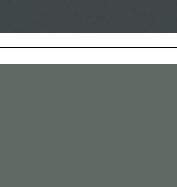
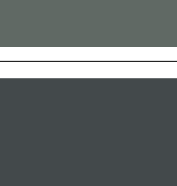
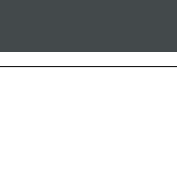

DRAWING TITLE  
Level 6

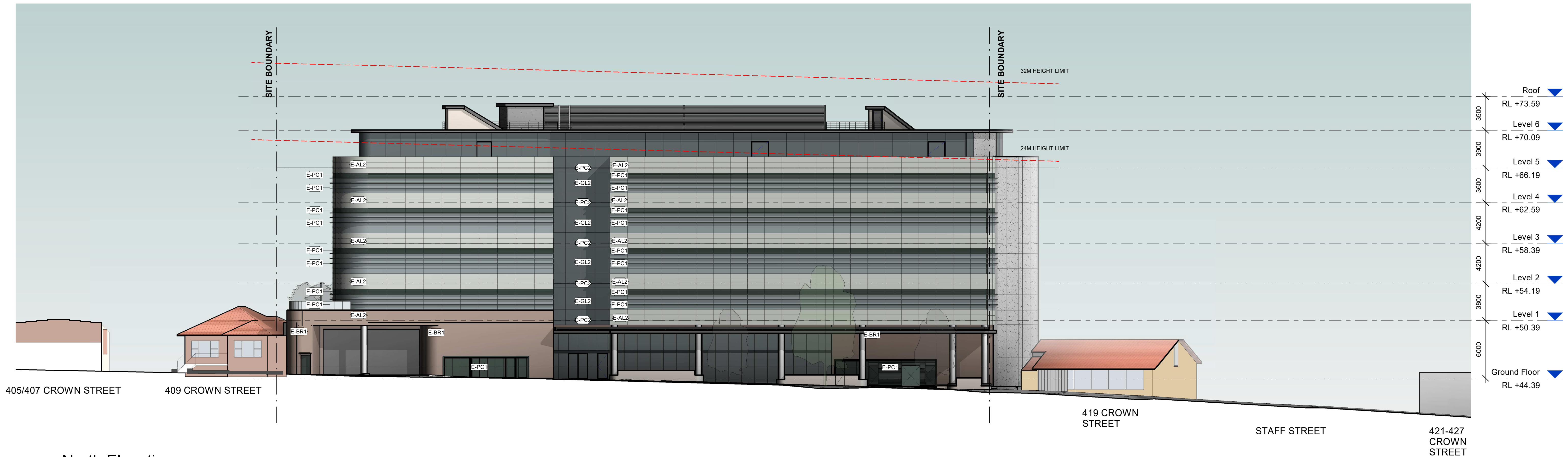
SCALE @ B1 1 : 100 DATE MAY 2020  
DRAWN BY Author PROJECT 16011



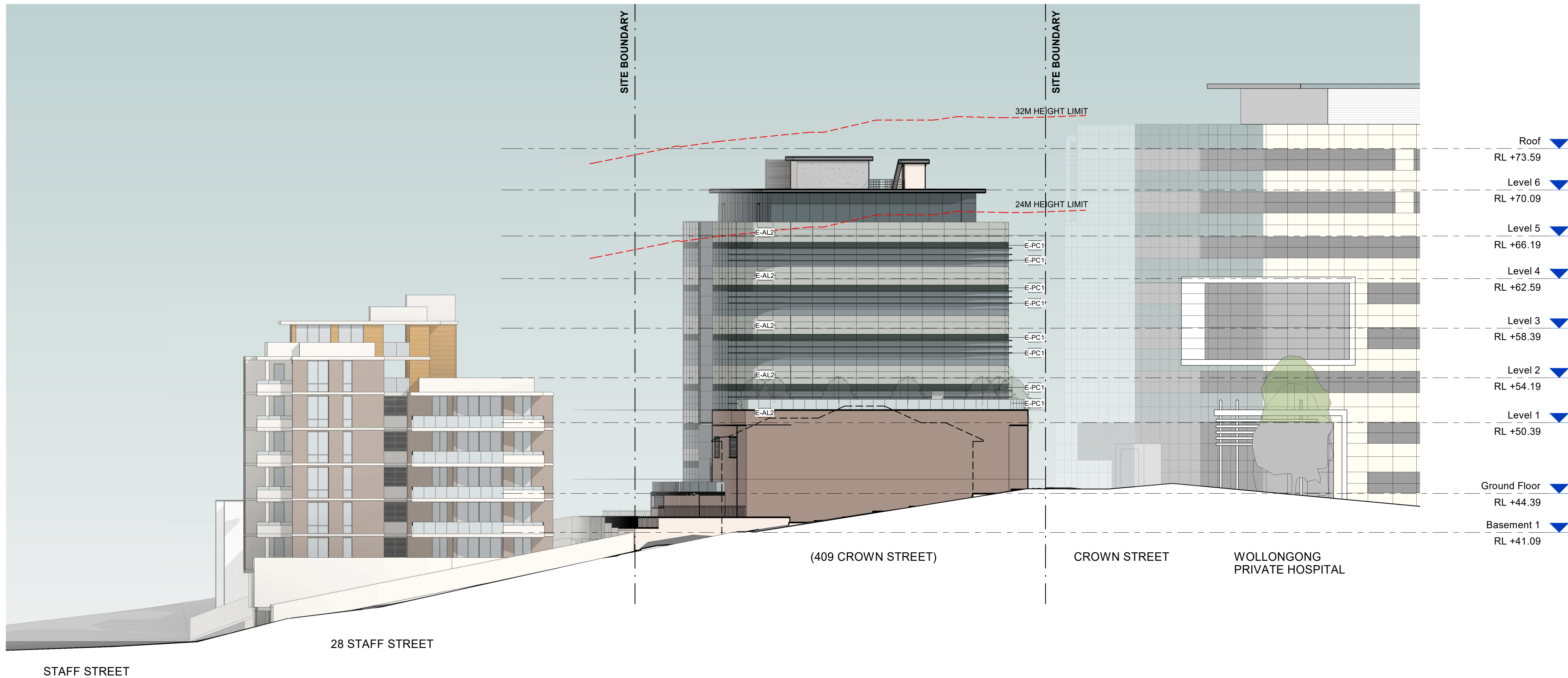
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LEGEND

External Finishes Schedule		
Image	Mark	Description
	E-AL2	Ultracore Papyrus White panel or similar
	E-BR1	Bowral50 Brick or similar Colour: Simmental Silver
	E-CONC	Pre Cast Concrete
	E-GL	Grey Glass
	E-GL2	Dark Grey Glass
	E-PC1	Interpon D3020 Fluoromax Sea Storm Matt or similar
	E-PC2	Interpon D2525 Futura Dark Grey Matt or similar



North Elevation  
1 : 200



East Elevation  
1 : 200

REV	DATE	DESCRIPTION
7	2023/07/10	ISSUE FOR DA
6	2023/06/07	ISSUE FOR REVIEW
5	2023/05/23	ISSUE FOR CONSULTANT COORDINATION
4	2023/11/15	ISSUE FOR DA
3	2023/11/06	ISSUE FOR COORDINATION
2	2023/10/26	ISSUE FOR DA
1	2023/05/25	ISSUE FOR DA

REVISION

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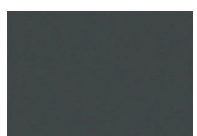
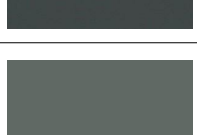


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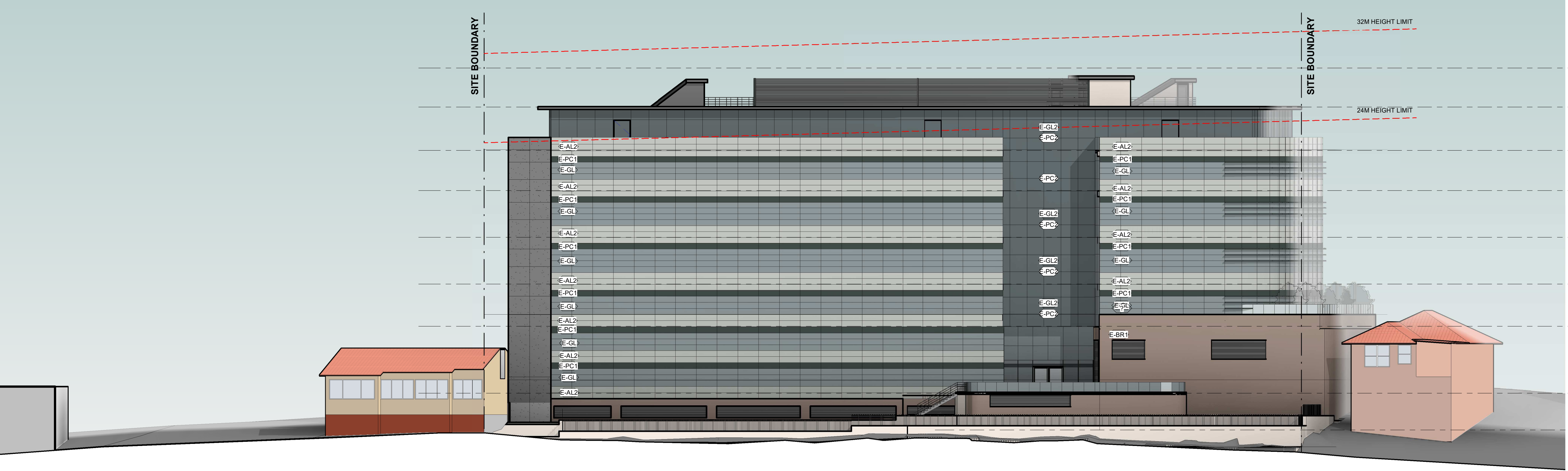
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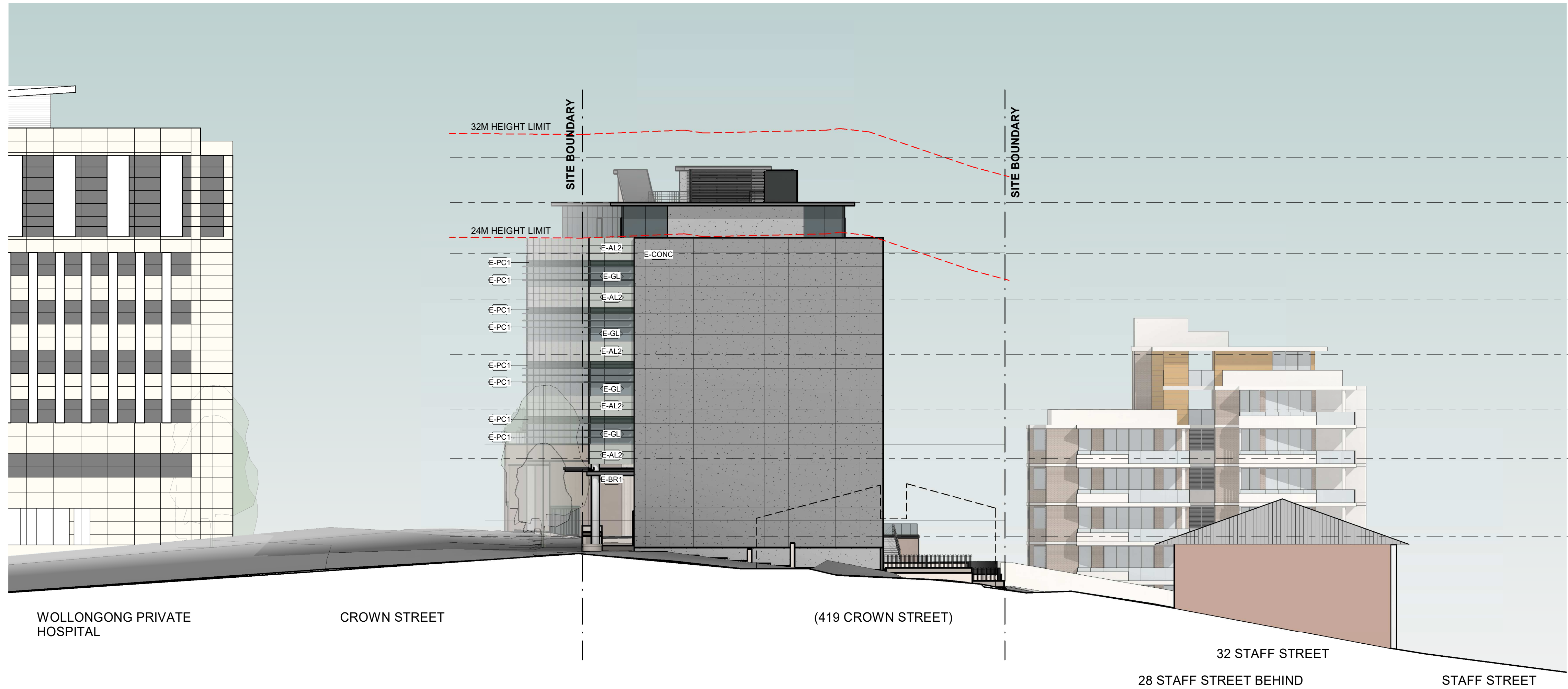
LEGEND

External Finishes Schedule		
Image	Mark	Description
	E-AL2	Ultracore Papyrus White panel or similar
	E-BR1	Bowral50 Brick or similar Colour: Simmental Silver
	E-CONC	Pre Cast Concrete
	E-GL	Grey Glass
	E-GL2	Dark Grey Glass
	E-PC1	Interpon D3020 Fluoromax Sea Storm Matt or similar
	E-PC2	Interpon D2525 Futura Dark Grey Matt or similar



Roof	▼
RL +73.59	
Level 6	▼
RL +70.09	
Level 5	▼
RL +66.19	
Level 4	▼
RL +62.59	
Level 3	▼
RL +58.39	
Level 2	▼
RL +54.19	
Level 1	▼
RL +50.39	
Ground Floor	▼
RL +44.39	
Basement 1	▼
RL +41.09	

S South Elevation  
1 : 200



Roof	▼
RL +73.59	
Level 6	▼
RL +70.09	
Level 5	▼
RL +66.19	
Level 4	▼
RL +62.59	
Level 3	▼
RL +58.39	
Level 2	▼
RL +54.19	
Level 1	▼
RL +50.39	
Ground Floor	▼
RL +44.39	

W West Elevation  
1 : 200

REV	DATE	DESCRIPTION
7	20200710	ISSUE FOR DA
6	20200607	ISSUE FOR REVIEW
5	20200503	ISSUE FOR CONSULTANT COORDINATION
4	20201115	ISSUE FOR DA
3	20211006	ISSUE FOR COORDINATION
2	20210208	ISSUE FOR DA
1	20200105	ISSUE FOR DA

REVISION



ANTHONY VAVAYIS + ASSOCIATES  
ARCHITECTS DESIGNERS PLANNERS  
24 LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
E: admin@vavayisarchitects.com.au T: 02 9290 1810  
F: 02 9290 1860 W: www.vavayisarchitects.com.au  
P: 20/26A LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

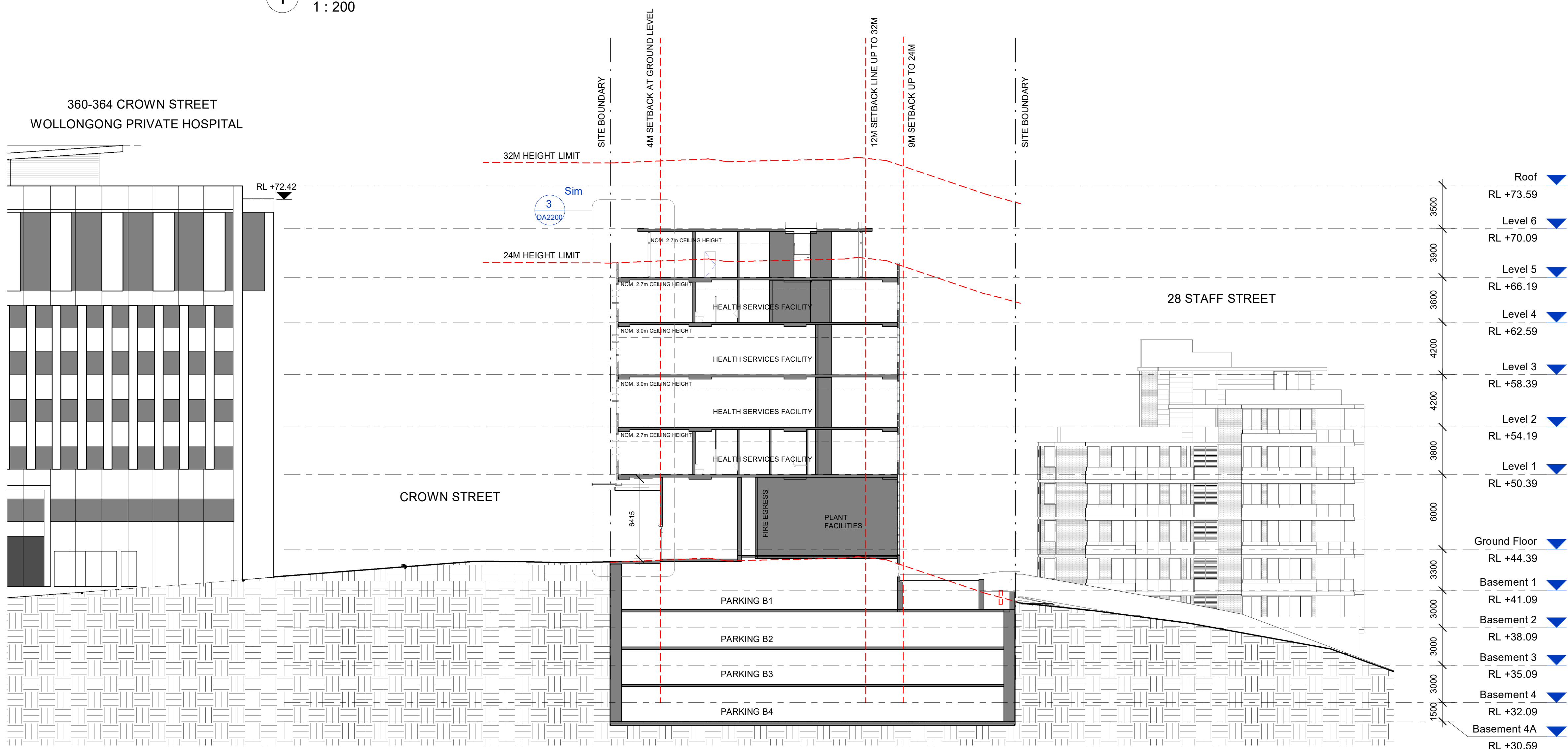
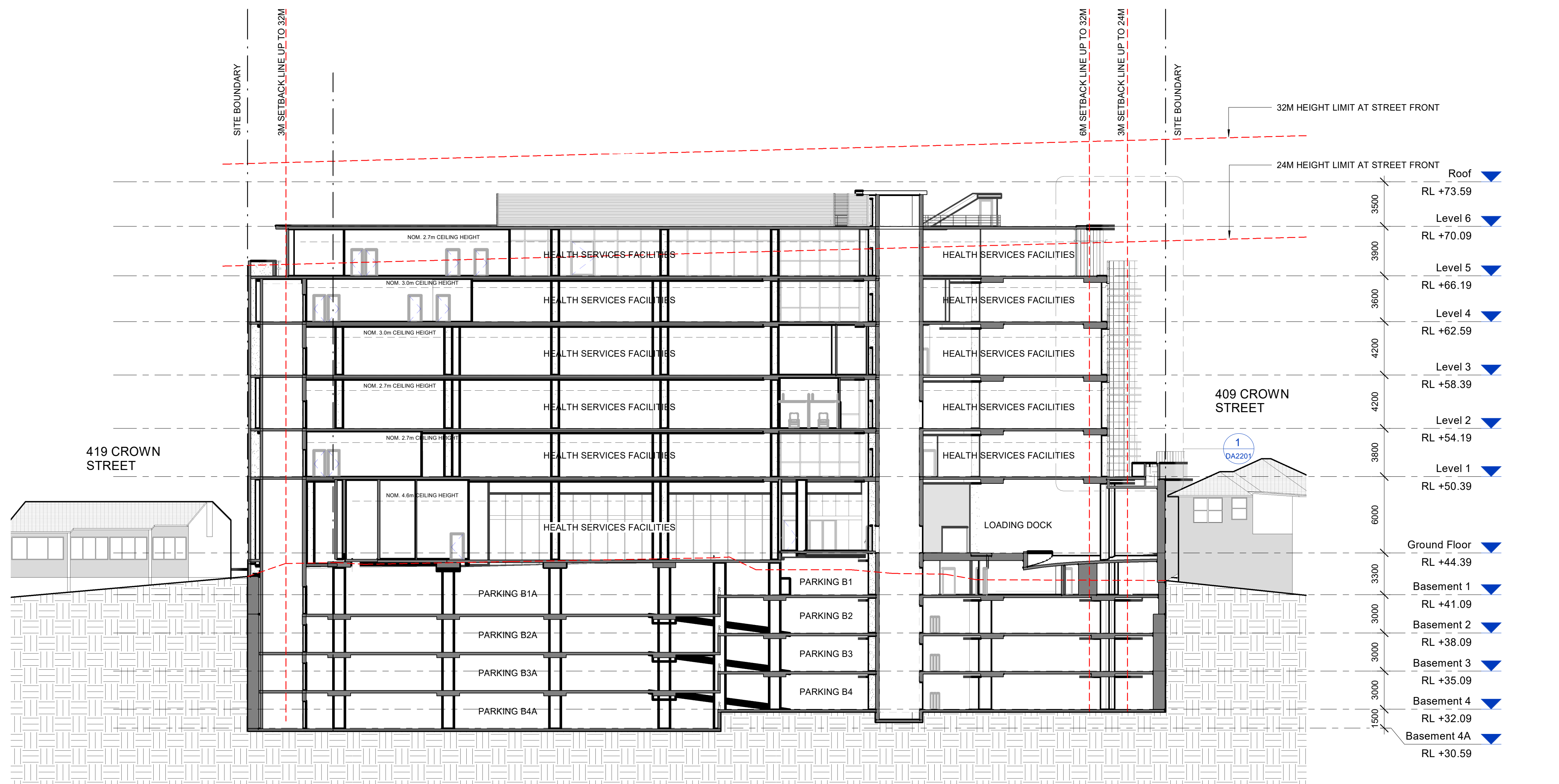
DRAWING TITLE  
Elevations - South and West

SCALE @ B1 1 : 200 DATE MAY 2020  
DRAWN BY DL PROJECT 16011



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LEGEND



REV	DATE	DESCRIPTION
1	2020/01/02	ISSUE FOR DA
2	2020/01/02	ISSUE FOR DA
3	2020/01/02	ISSUE FOR DA
4	2020/01/02	ISSUE FOR DA
5	2020/01/02	ISSUE FOR DA
6	2020/01/02	ISSUE FOR DA
7	2020/01/02	ISSUE FOR DA

REVISION

**ANTHONY VAVAYIS + ASSOCIATES**  
ARCHITECTS DESIGNERS PLANNERS

24 LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
E: admin@avarchitects.com.au T: 02 9290 1810  
F: 02 9290 1860 W: www.avarchitects.com.au  
P: 20/26A LIME STREET KING STREET WHARF  
SYDNEY NSW 2000  
ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Sections 1

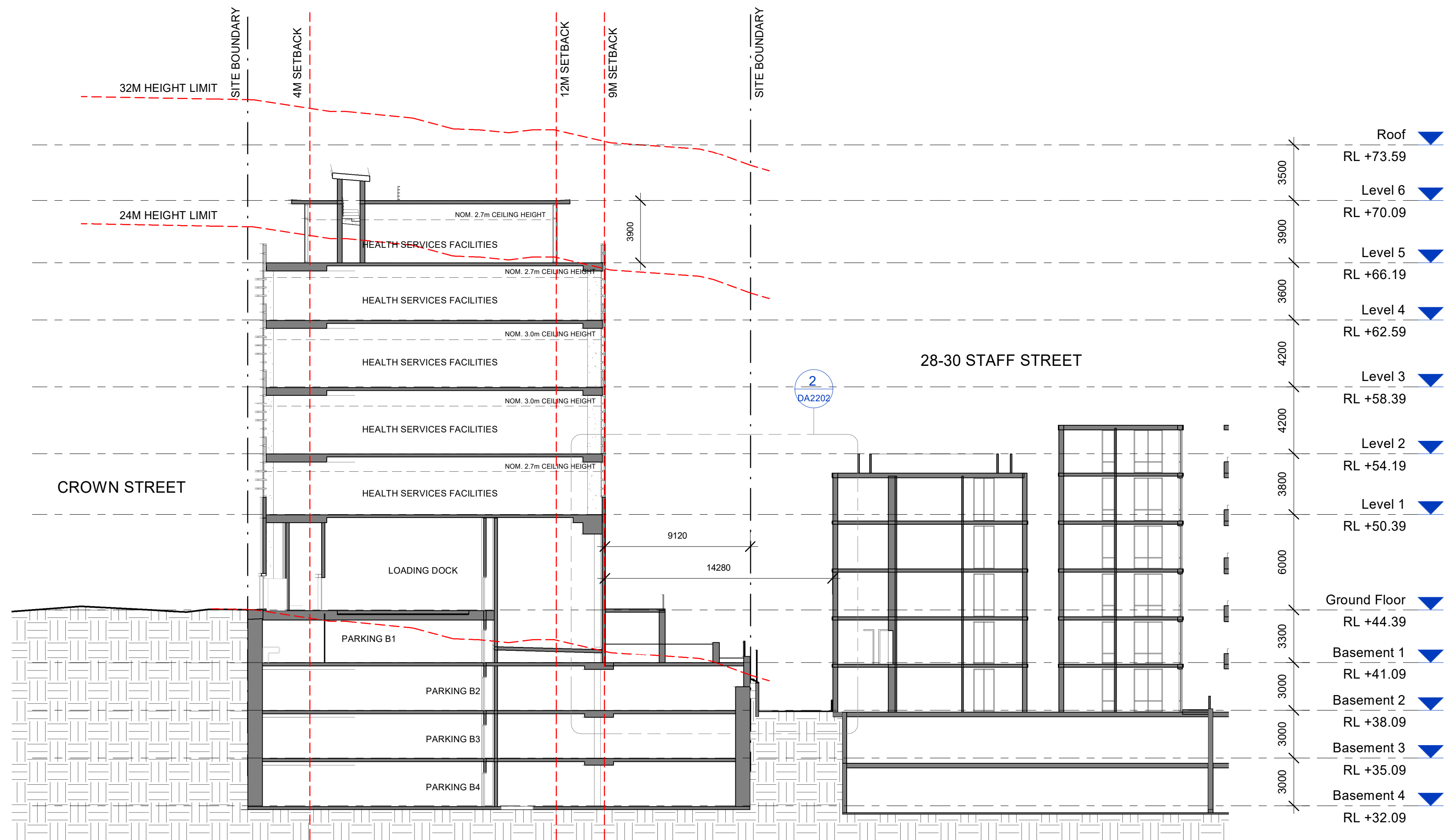
SCALE @ B1 1 : 200 DATE MAY 2020  
DRAWN BY Author PROJECT 16011

DA2101 7

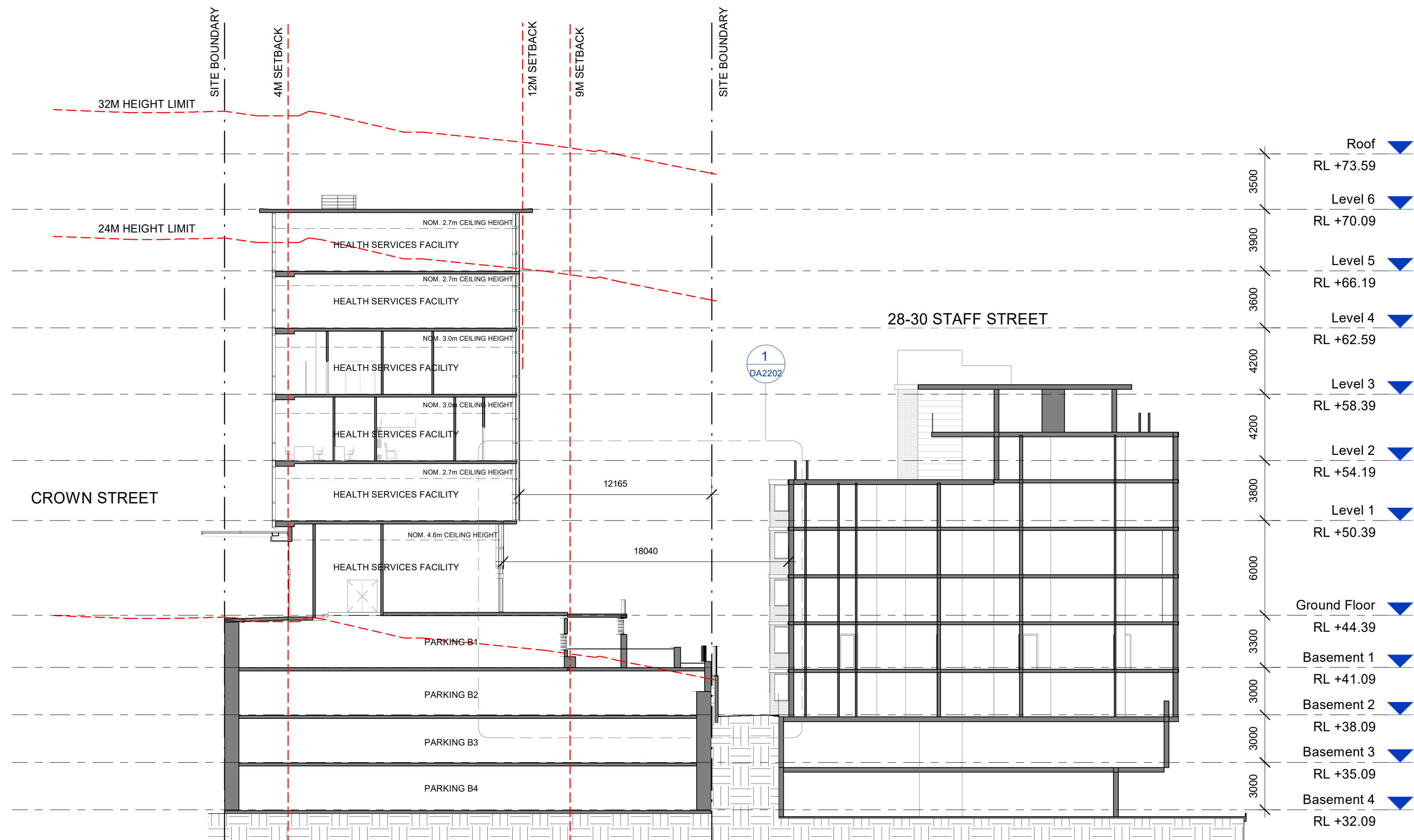


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LEGEND



1 Section C  
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2 Section D  
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REV	DATE	REVISION
8	20200710	ISSUE FOR DA
7	20200622	ISSUE FOR REVIEW
6	20200607	ISSUE FOR REVIEW
5	20200503	ISSUE FOR CONSULTANT COORDINATION
4	20201115	ISSUE FOR DA
3	20211106	ISSUE FOR COORDINATION
2	20210228	ISSUE FOR DA
1	20201202	ISSUE FOR DA

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ARCHITECTS DESIGNERS PLANNERS

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ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Sections 2

SCALE @ B1 1: 200 DATE MAY 2020

DRAWN BY DL PROJECT 16011

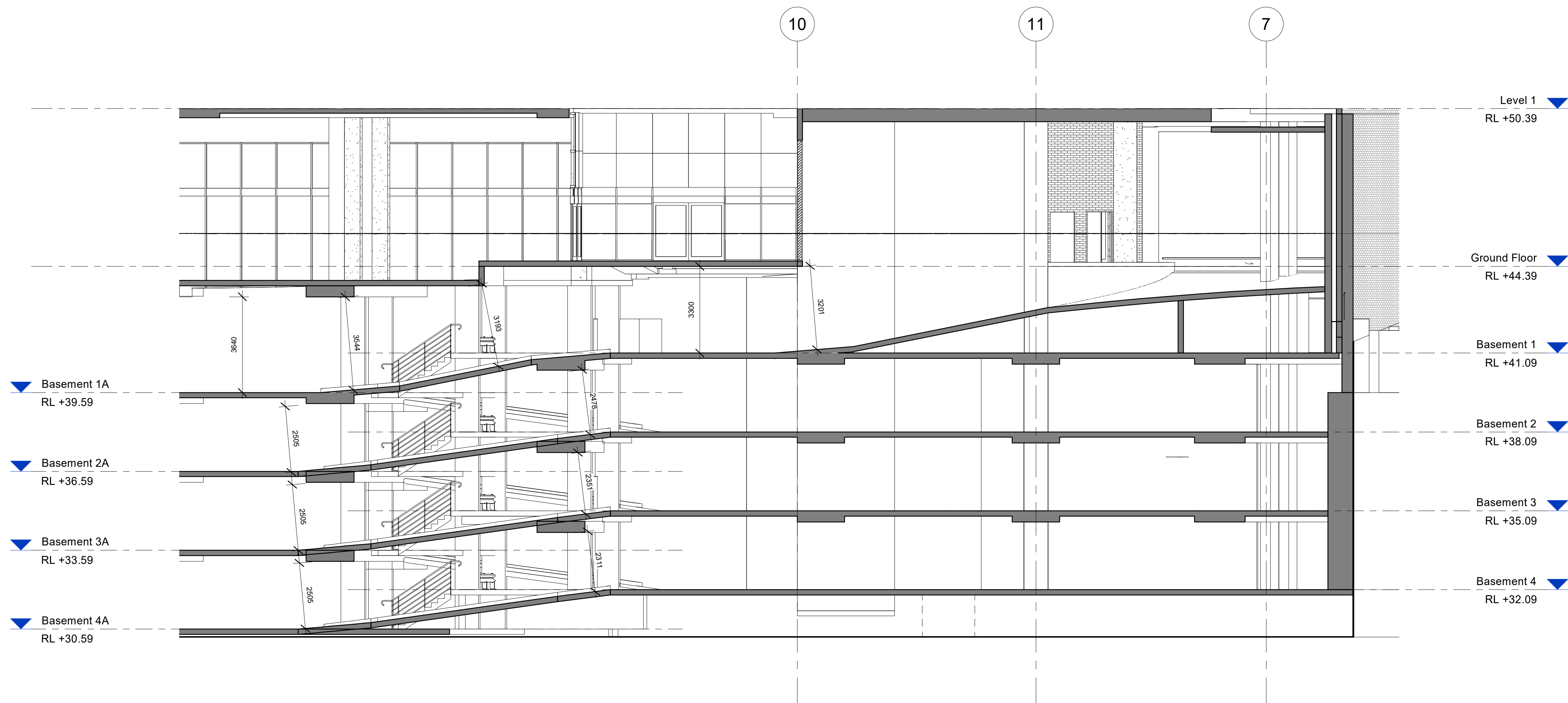
DA2102

8



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LEGEND



1 Driveway Section  
1 : 100

REV	DATE	DESCRIPTION
7	2020/07/10	ISSUE FOR DA
6	2020/06/07	ISSUE FOR REVIEW
5	2020/05/23	ISSUE FOR CONSULTANT COORDINATION
4	2020/11/15	ISSUE FOR DA
3	2021/10/06	ISSUE FOR COORDINATION
2	2021/10/28	ISSUE FOR DA
1	2020/01/05	ISSUE FOR DA

REVISION

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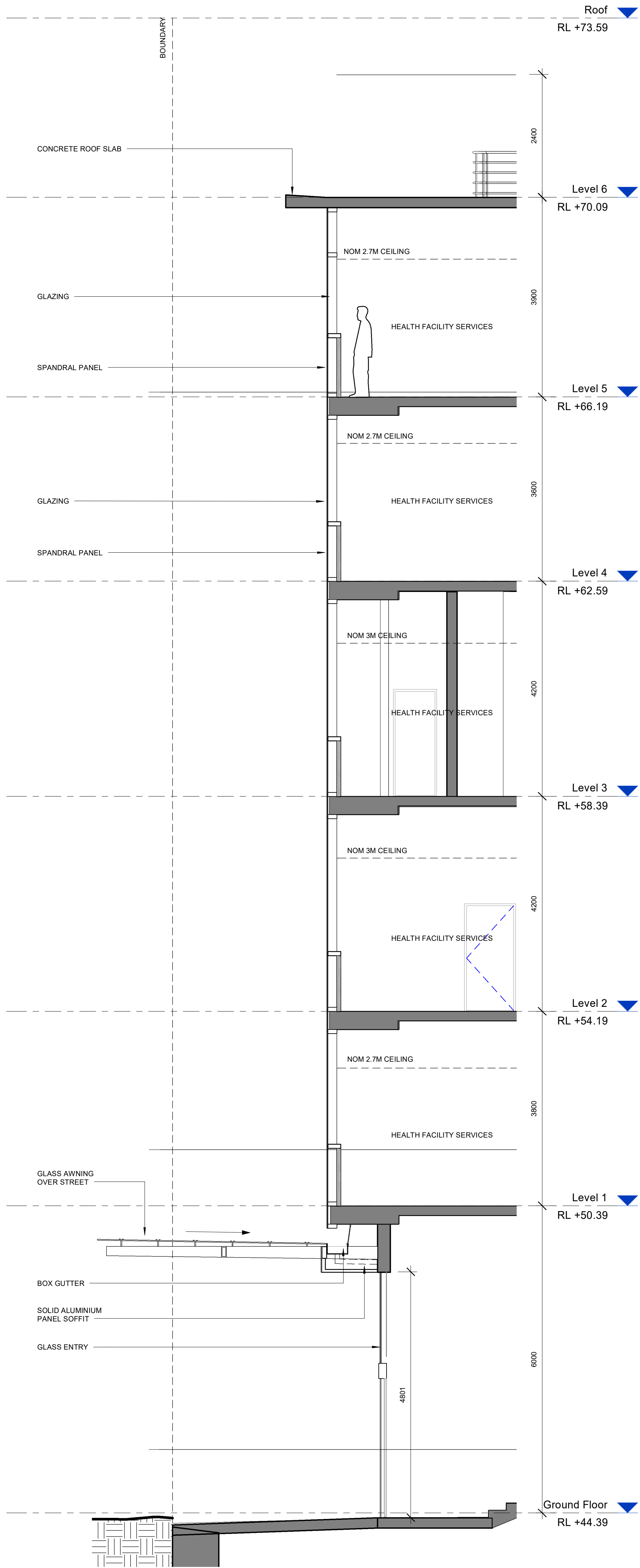
PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

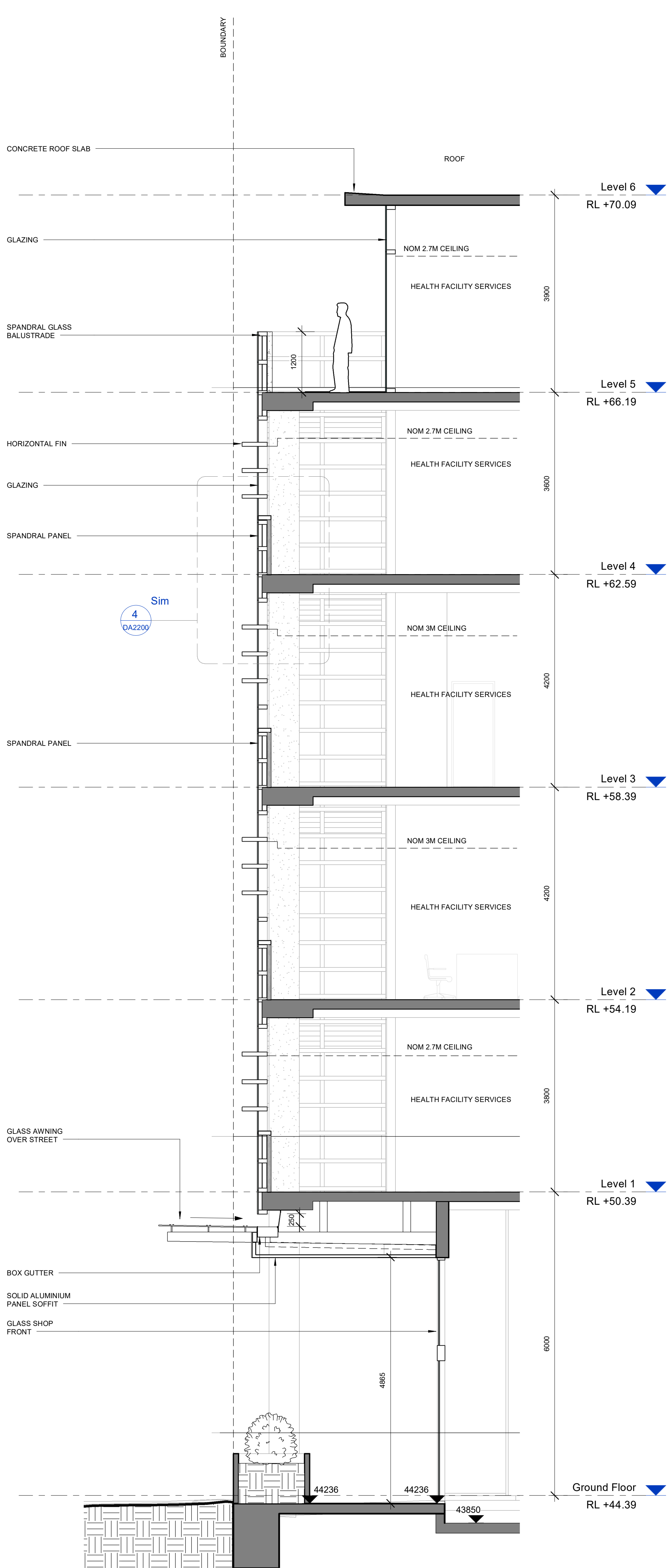
DRAWING TITLE  
Sections 3

SCALE @ B1 1 : 100 DATE MAY 2020  
DRAWN BY Author PROJECT 16011

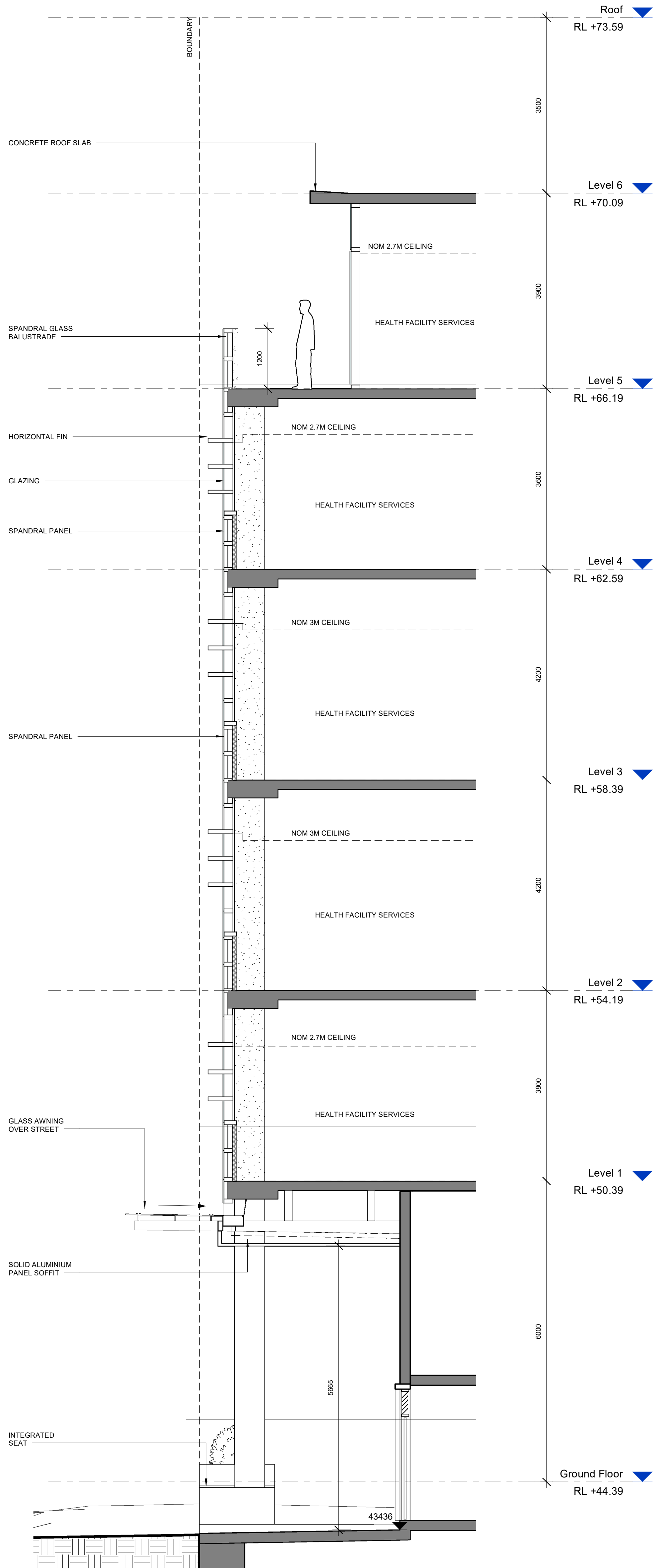




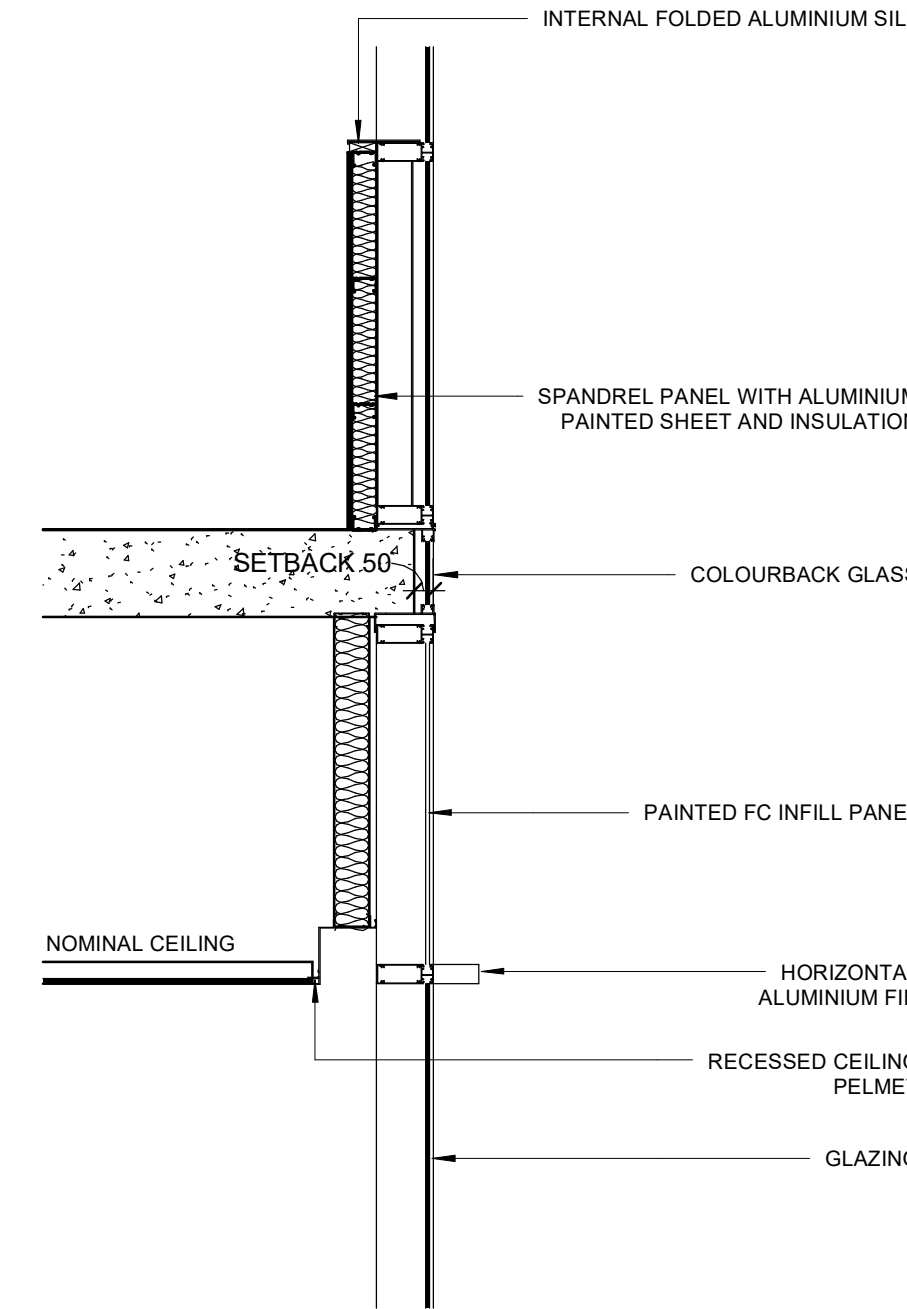
1 Typical Facade Section  
1 : 50



2 Typical Facade Section 2  
1 : 50



3 Typical Facade Section 3  
1 : 50



4 Typical Glazing Detail  
1 : 20

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**LEGEND**

REV	DATE	DESCRIPTION
1	2023/01/25	ISSUE FOR DA
2	2023/02/08	ISSUE FOR DA
3	2023/02/15	ISSUE FOR DA
4	2023/05/03	ISSUE FOR CONSULTANT COORDINATION
5	2023/06/07	ISSUE FOR REVIEW
6	2023/07/10	ISSUE FOR DA

**REVISION**

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SYDNEY NSW 2000  
ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.  
ACN 089 737 935  
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

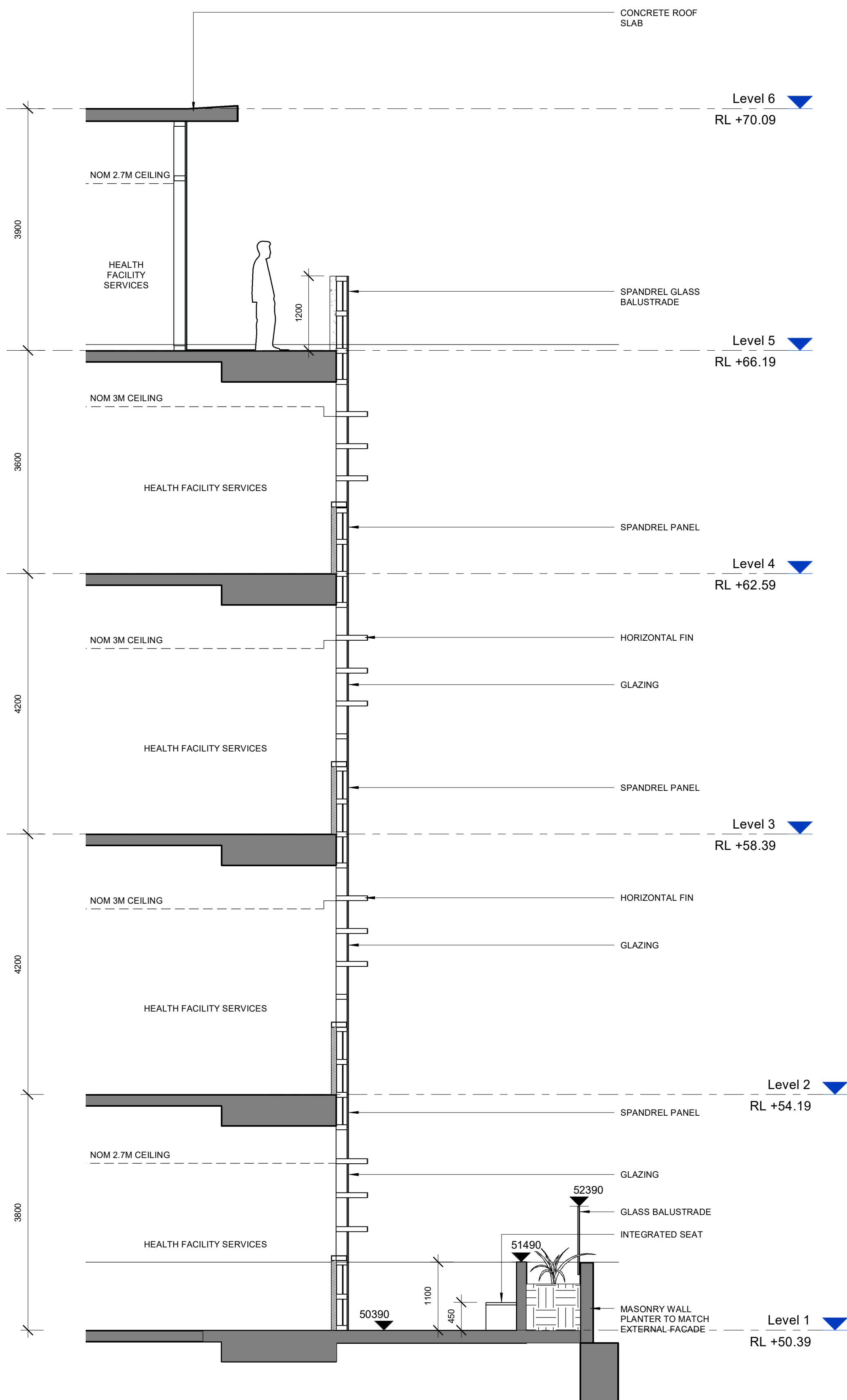
**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

**DRAWING TITLE**  
Detail Section

**SCALE @ B1 As indicated DATE MAY 2020**  
**DRAWN BY Author PROJECT 16011**





1 L1 Planter Detail  
1 : 50

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LEGEND

REV	DATE	AMENDMENT
3	20200710	ISSUE FOR SA
2	20200607	ISSUE FOR REVIEW
1	20200503	ISSUE FOR CONSULTANT COORDINATION

REVISION

**ANTHONY VAVAYIS + ASSOCIATES**  
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SYDNEY NSW 2000  
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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

**CLIENT**  
Coveston Developments Pty Ltd

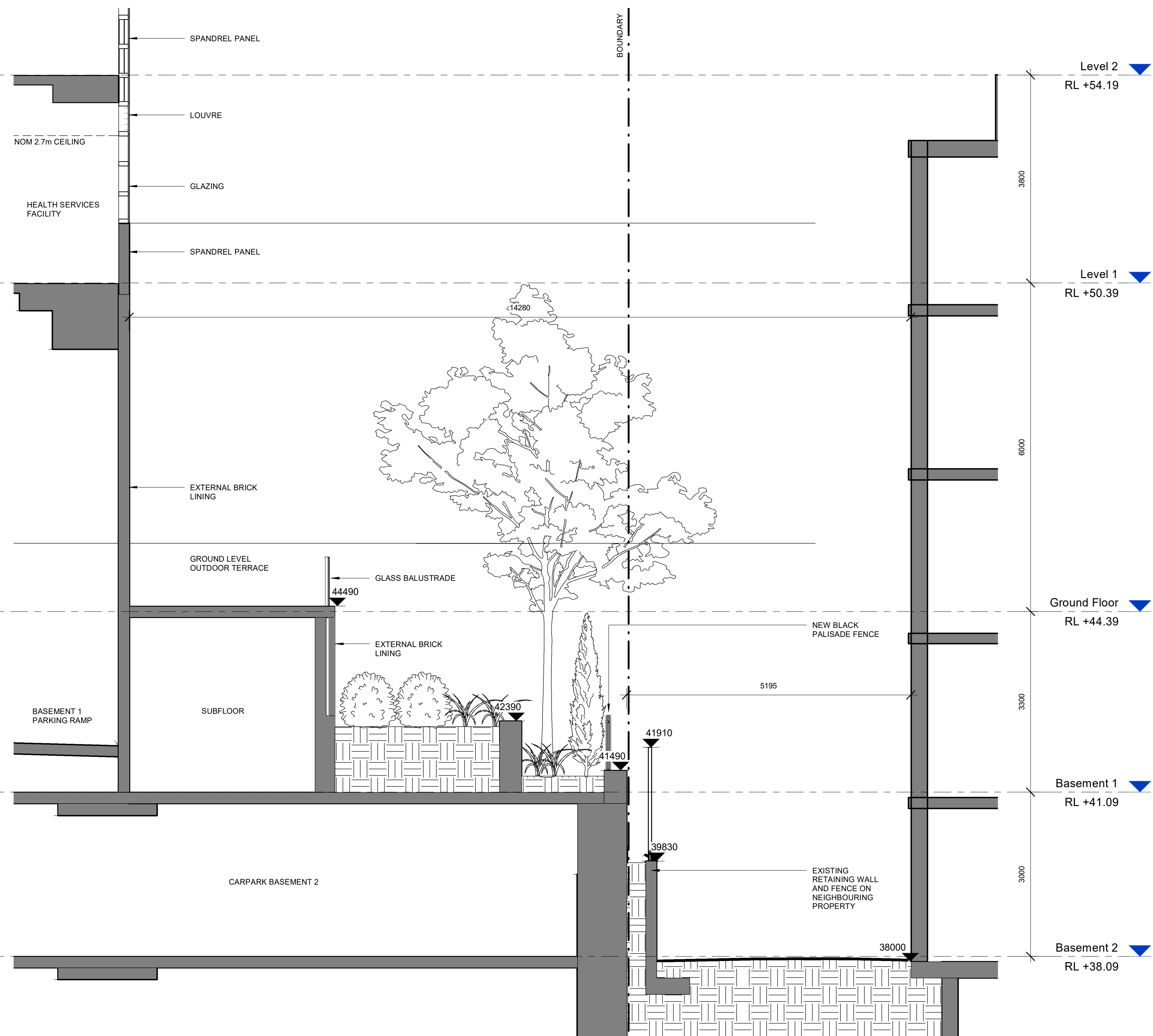
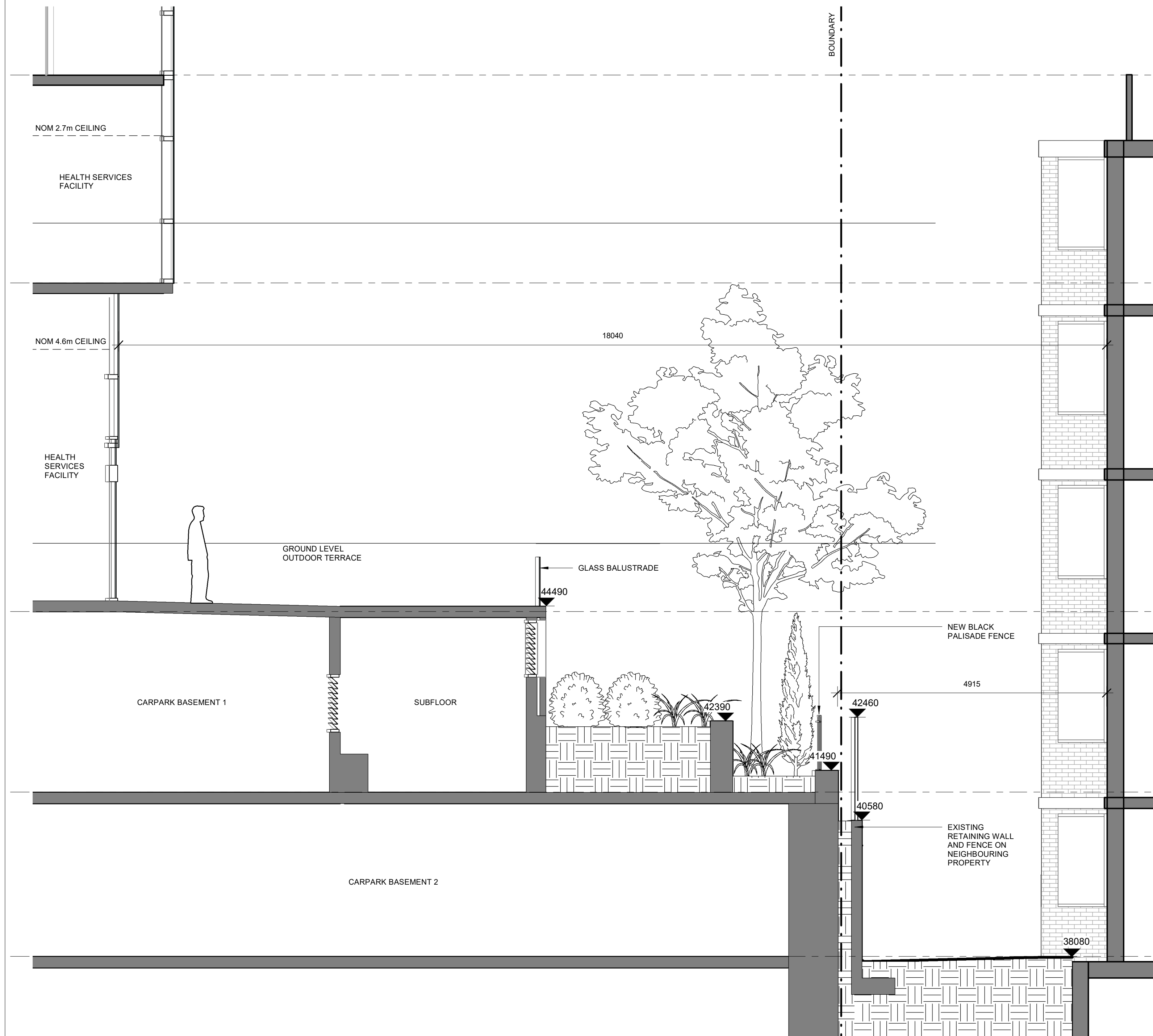
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Detail Section 2

**SCALE @ B1 1 : 50** **DATE** MAY 2020  
**DRAWN BY** Author **PROJECT** 16011



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LEGEND



1 Typical Rear Boundary Section  
1 : 50

2 Typical Rear Boundary Section 2  
1 : 50

REV	DATE	DESCRIPTION
3	20200710	ISSUE FOR SA
2	20200622	ISSUE FOR REVIEW
1	20200607	ISSUE FOR REVIEW

REV	DATE	DESCRIPTION
3	20200710	ISSUE FOR SA
2	20200622	ISSUE FOR REVIEW
1	20200607	ISSUE FOR REVIEW

REVISION  
3 20200710 ISSUE FOR SA  
2 20200622 ISSUE FOR REVIEW  
1 20200607 ISSUE FOR REVIEW

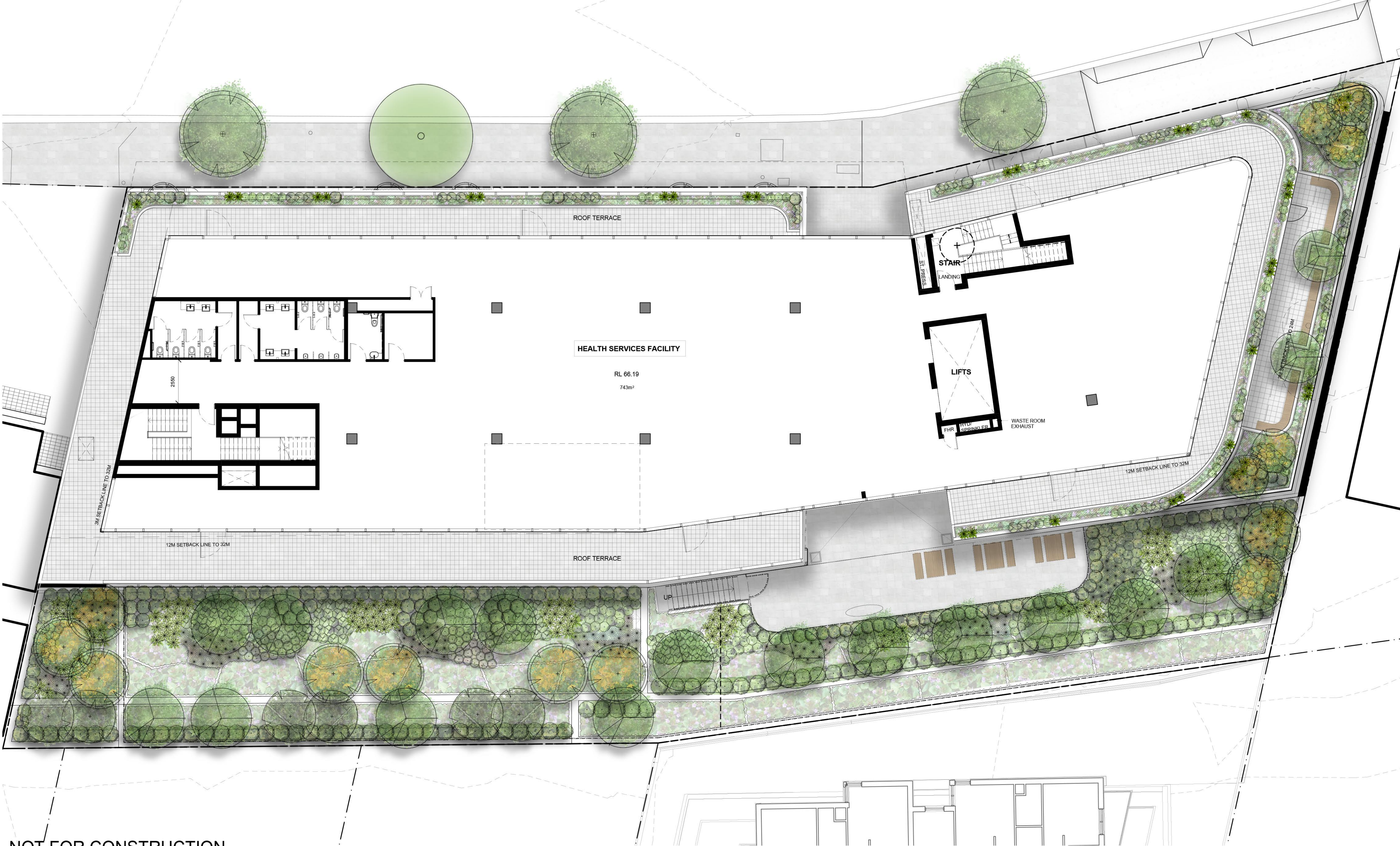
PROJECT TITLE  
Proposed Medical Facility  
411-417 Crown Street, Wollongong

CLIENT  
Coveston Developments Pty Ltd

DRAWING TITLE  
Detail Section 3

SCALE @ B1 1 : 50 DATE MAY 2020  
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Issue	Revision Description	Drawn	Check	Date
K	For Revised DA	BS	RS	30.06.2023
J	For Revised DA	NP	RS	27.10.2022
I	For Revised DA	NP	RS	25.10.2022
H	For DA Approval	NP	RS	06.12.2021
G	Site design levels refinement	NP	RS	03.12.2021
F	Amendments following client input	NP	RS	09.11.2021
E	Amendments following client input	NP	RS	05.11.2021
D	For DA Approval	NP	RS	27.10.2021
C	For DA Approval	NP	RS	22.10.2021
B	For DA Approval	NP	RS	13.07.2021
A	Preliminary	NP	RS	18.06.2021

LEGEND	
	Tree to be Retained (Refer Arbolist Report)
	Proposed Tree / Palm (Refer Planting Plan & Schedule)
	Proposed Accent / Shrub (Refer Planting Plan & Schedule)
	Proposed Groundcover / Grasses (Refer Planting Plan & Schedule)

	Public Domain Unit Paving (To Council Detail)
	Stone Unit Paving
	Exposed Aggregate Concrete
	Timber Decking
	Stone Set Border
	Tactile Ground Surface Indicators

	Proposed Reduced Level (To Council Detail)
	Table and Bench Setting
	Communal BBQ and Sink
	Insitu Concrete bench with Timber
	Site Boundary
	Baulstrade
	Handrail
	1800H Timber Lapped & Capped Boundary Fence

Key Plan:

**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 6332 5600  
Fax: (61 2) 9696 2877  
www.siteimage.com.au

Client:  
**Coveston Developments Pty Ltd**

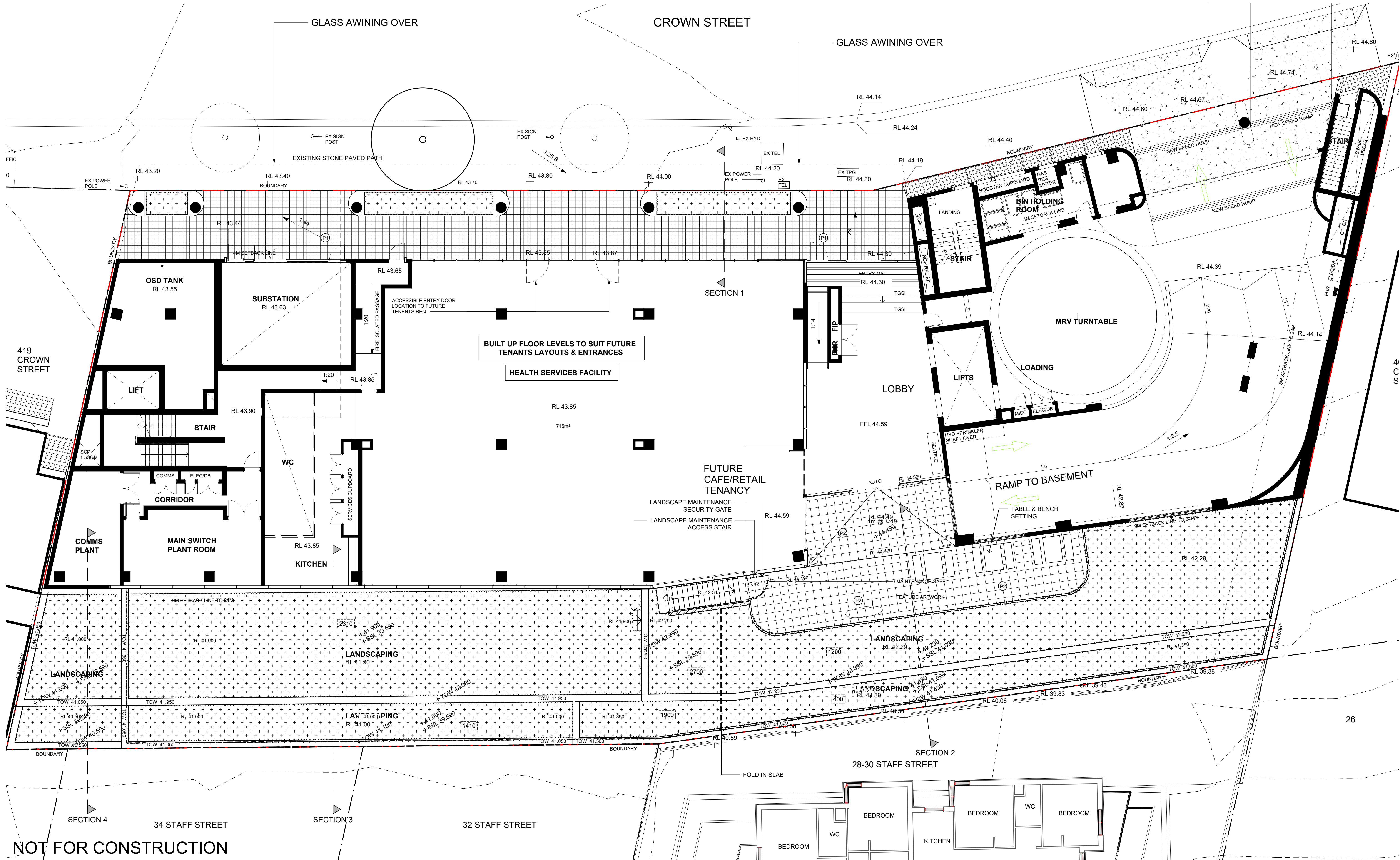
Project:  
**Proposed Medical Facility**  
**411 - 417 Crown Street,**  
**Wollongong NSW 2500**

Drawing Name:  
**Landscape Composite Render**

Scale: 1:100 @ A1  
Job Number:  
**SS21-4720**

DEVELOPMENT APPLICATION  
Drawing Number:  
**L-C100** K





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I	For Revised DA	BS	RS	30.06.2023
H	For Revised DA	NP	RS	27.10.2022
G	For Revised DA	NP	RS	25.10.2022
F	For DA Approval	NP	RS	06.12.2021
E	Site design levels refinement	NP	RS	03.12.2021
D	Amendments following client input	NP	RS	05.11.2021
C	For DA Approval	NP	RS	22.10.2021
B	For DA Approval	NP	RS	13.07.2021
A	Preliminary	NP	RS	18.06.2021
Issue	Revision Description	Drawn	Check	Date

BS	RS	30.06.2023
NP	RS	27.10.2022
NP	RS	25.10.2022
NP	RS	06.12.2021
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NP	RS	05.11.2021
NP	RS	22.10.2021
NP	RS	13.07.2021
NP	RS	18.06.2021
Drawn	Check	Date

LEGEND	
	Tree to be Retained (Refer Arborist Report)
	Proposed Planting (Refer Planting Plan & Schedule)
	Soil Depth

	Public Domain Unit Paving (To Council Detail)
	Stone Unit Paving
	Exposed Aggregate Concrete
	Timber Decking
	Stone Set Border
	Tactile Ground Surface Indicators

RL XXXX TOW XXXX	Proposed Reduced Level Proposed Top Of Wall
	Table and Bench Setting
	Communal BBQ and Sink
	Insitu Concrete bench with Timber
	Site Boundary
	Baulstrade
	Handrail
	1800H Timber Lapped & Capped Boundary Fence

Key Plan:



Client:  
**Coveston Developments Pty Ltd**

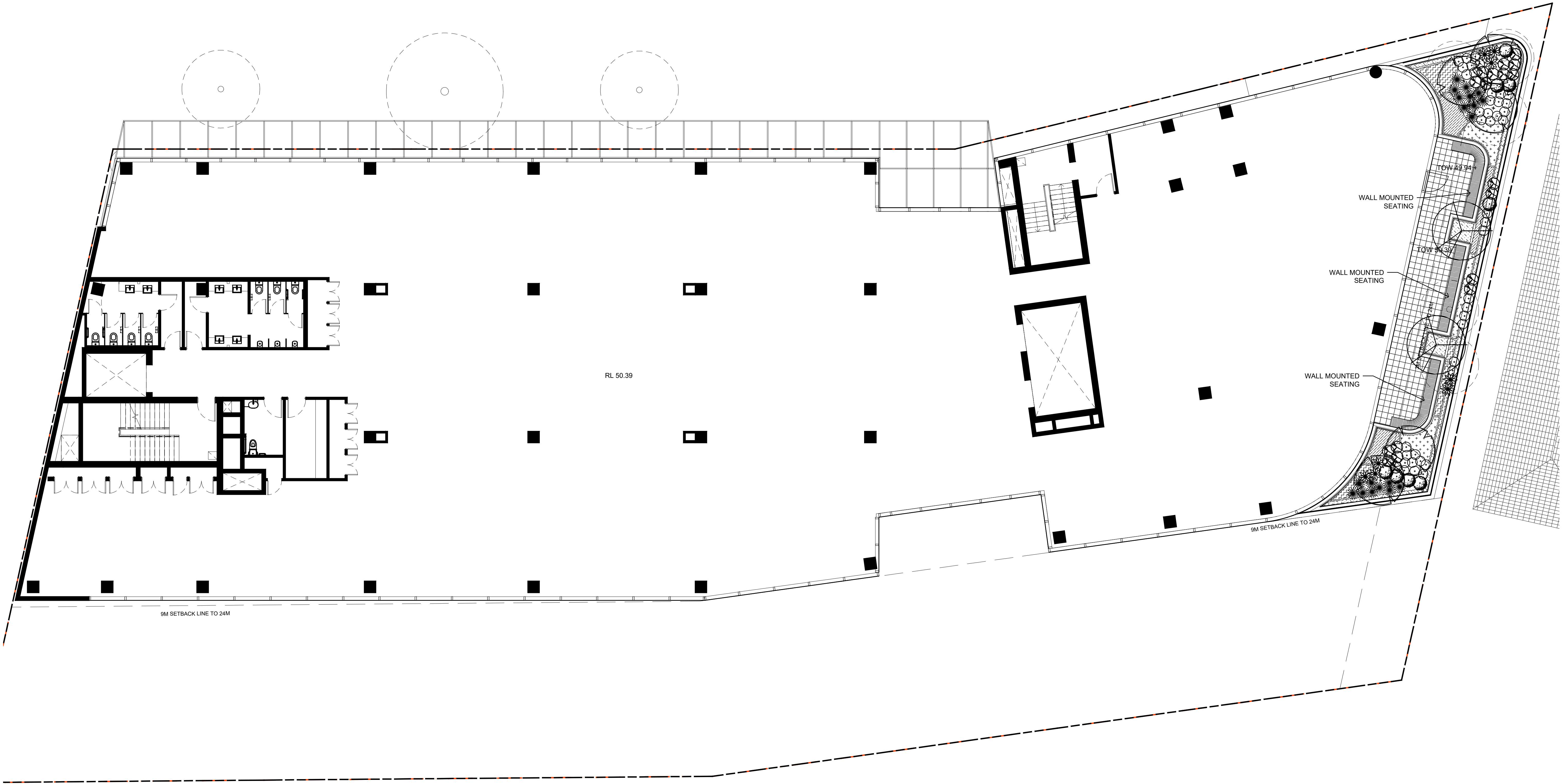
Project:  
**Proposed Medical Facility**  
411 - 417 Crown Street,  
Wollongong NSW 2500

Drawing Name:  
**Landscape Plan**  
**Ground Floor & Public Domain**

DEVELOPMENT APPLICATION

Scale: 1:100 @ A1  
Job Number: SS21-4720  
Drawing Number: L-101





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D	For Revised DA	BS	RS	30.06.2023
C	For Revised DA	NP	RS	25.10.2022
B	For DA Approval	NP	RS	06.12.2021
A	For DA Approval	NP	RS	13.07.2021
Issue	Revision Description	Drawn	Check	Date

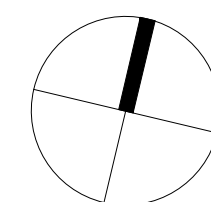
LEGEND

- Tree to be Retained (Refer Arborist Report)
- Proposed Planting (Refer Planting Plan & Schedule)
- Soil Depth

- Public Domain Unit Paving (To Council Detail)
- Stone Unit Paving
- Exposed Aggregate Concrete
- Timber Decking
- Stone Set Border
- Tactile Ground Surface Indicators

- Proposed Reduced Level (To Council Detail)
- Proposed Top Of Wall
- Table and Bench Setting
- Communal BBQ and Sink
- Insitu Concrete bench with Timber
- Site Boundary
- Baulstrade
- Handrail
- 1800H Timber Lapped & Capped Boundary Fence

Key Plan:



SITE IMAGE

Landscape Architects

Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia

Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**Coveston Developments Pty Ltd**

Project:  
**Proposed Medical Facility**  
**411 - 417 Crown Street,**  
**Wollongong NSW 2500**

Drawing Name:  
**Landscape Plan**  
**Level 1 Terrace**

DEVELOPMENT APPLICATION

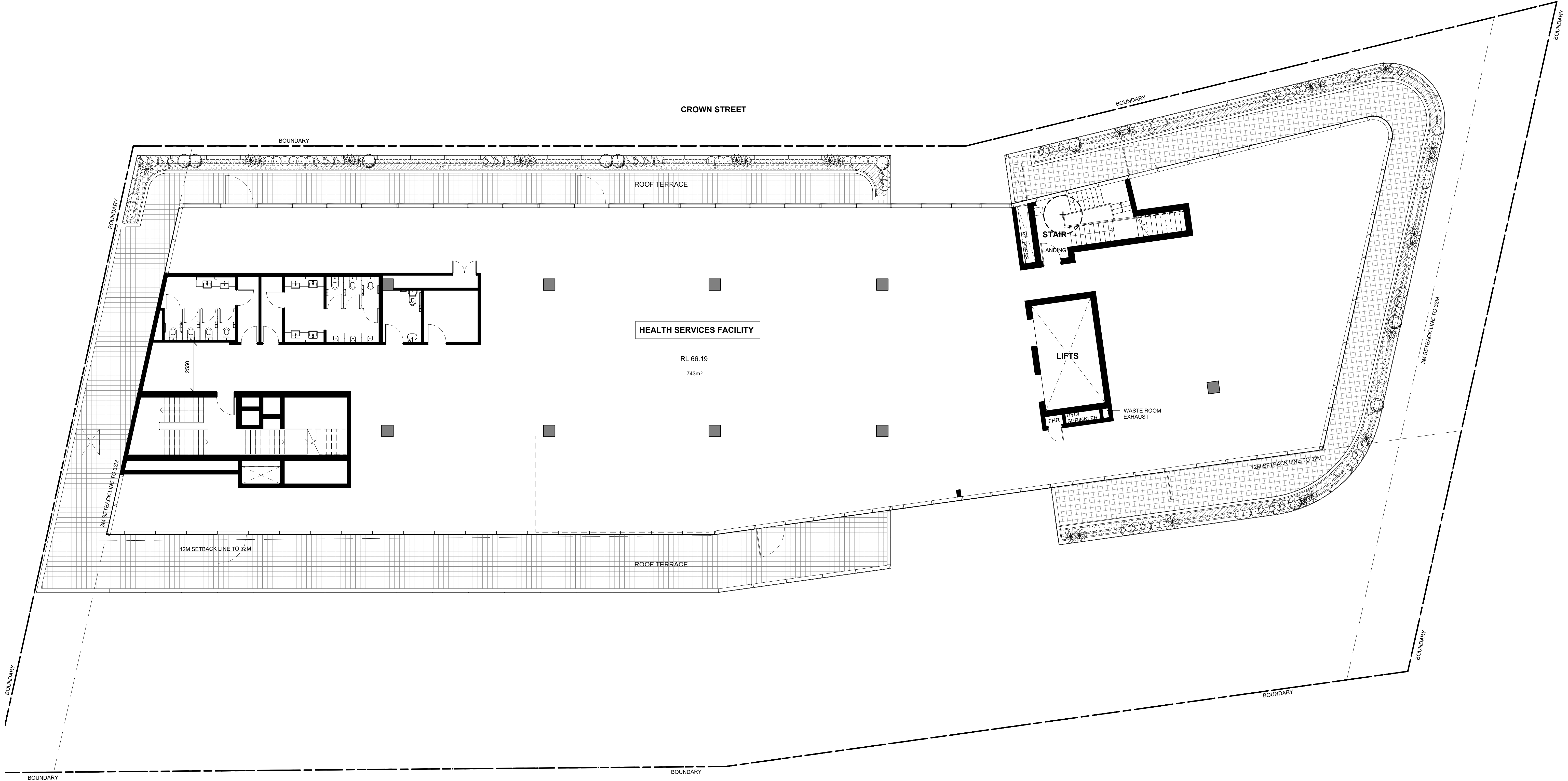
Scale: 1:100 @ A1

Job Number: SS21-4720

Drawing Number: L-102

Issue: D





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B For Revised DA  
A For Revised DA  
Issue Revision Description

BS RS 30.06.2023  
NP RS 25.10.2022  
Drawn Check Date

#### LEGEND

Tree to be Retained  
(Refer Arborist Report)

Proposed Planting  
(Refer Planting Plan & Schedule)

P1 Public Domain Unit Paving  
(To Council Detail)

P2 Stone Unit Paving

P3 Exposed Aggregate Concrete

TD Timber Decking

Stone Set Border

TGSI Tactile Ground Surface Indicators

RL XXXX  
TOW XXXX Proposed Reduced Level  
Proposed Top Of Wall

Table and Bench Setting

Communal BBQ and Sink

Insitu Concrete bench with Timber

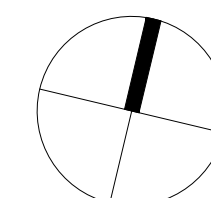
Site Boundary

Baulstrade

Handrail

1800H Timber Lapped & Capped Boundary Fence

Key Plan:



#### SITE IMAGE



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Radfern NSW 2016  
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Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**Coveston Developments Pty Ltd**

Project:  
**Proposed Medical Facility**  
**411 - 417 Crown Street,**  
**Wollongong NSW 2500**

Drawing Name:  
**Landscape Plan**  
**Level 5 Terrace**

DEVELOPMENT APPLICATION

Scale: 1:100 @ A1

Job Number: SS21-4720

Drawing Number: L-105

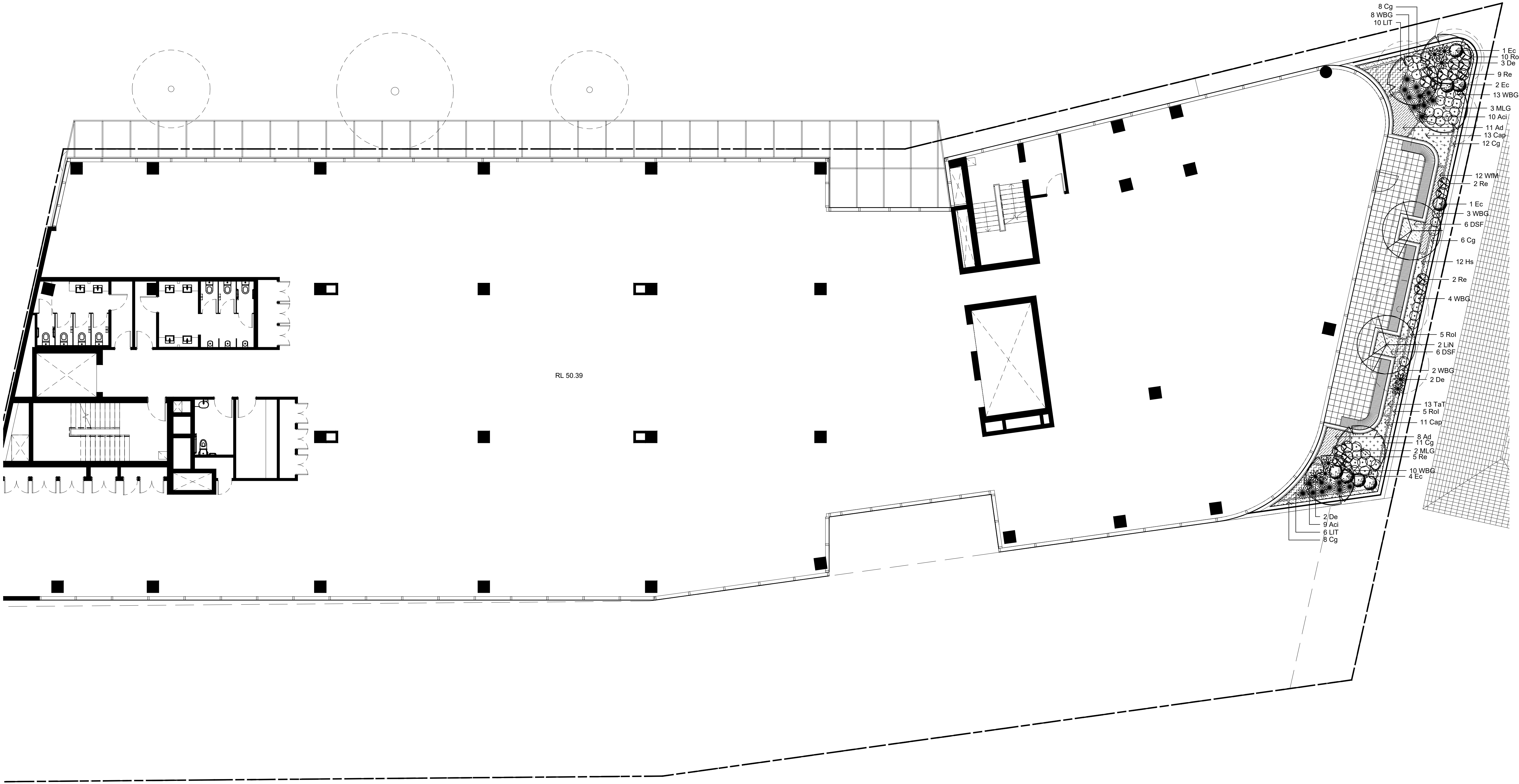
Issue: B





L- 201 F







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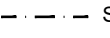
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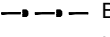
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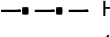
 Proposed Tree / Palm  
(Refer Planting Plan & Schedule)

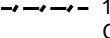
 Proposed Accent / Shrub  
(Refer Planting Plan & Schedule)

 Proposed Groundcover / Grasses  
(Refer Planting Plan & Schedule)

 Site Boundary

 Baulstrade

 Handrail

 1800H Timber Lapped & Capped Boundary Fence

Key Plan:

**SITE IMAGE**



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Client:  
**Coveston Developments Pty Ltd**

Project:  
**Proposed Medical Facility**  
**411 - 417 Crown Street,**  
**Wollongong NSW 2500**

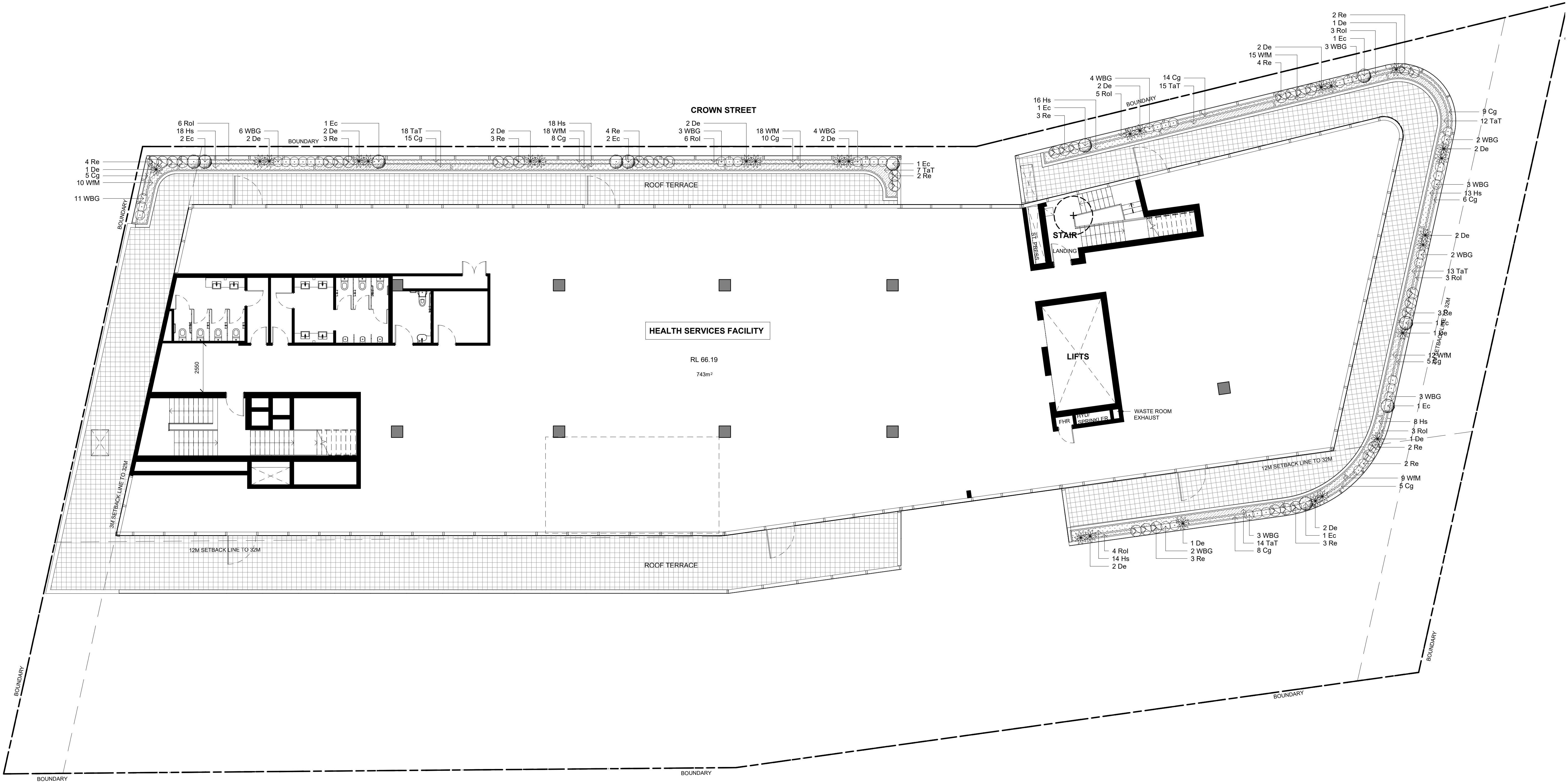
Drawing Name:  
**Planting Plan**  
**Level 1 Terrace**

**DEVELOPMENT APPLICATION**

Scale: 1:100 @ A1  
Job Number: SS21-4720  
Drawing Number: L- 202  
Issue: A

A	For Revised DA	BS	RS	30.06.2023
Issue	Revision Description	Drawn	Check	Date





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#### LEGEND

- Proposed Tree / Palm (Refer Planting Plan & Schedule)
- Proposed Accent / Shrub (Refer Planting Plan & Schedule)
- Proposed Groundcover / Grasses (Refer Planting Plan & Schedule)
- Site Boundary
- Baulstrade
- Handrail
- 1800H Timber Lapped & Capped Boundary Fence

Key Plan:

#### SITE IMAGE

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Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**Coveston Developments Pty Ltd**  
  
Project:  
**Proposed Medical Facility**  
**411 - 417 Crown Street,**  
**Wollongong NSW 2500**

Drawing Name:  
**Planting Plan**  
**Level 5 Terrace**

DEVELOPMENT APPLICATION  
Scale: 1:100 @ A1  
Job Number: SS21-4720  
Drawing Number: L-204  
Issue: A

A For Revised DA  
Issue Revision Description

BS RS 30.06.2023  
Drawn Check Date



# SPECIFICATION

## GENERAL NOTES

### References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

### Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

### EARTHWORKS

#### Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

#### Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

### HARDWORKS

#### Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

#### Garden Walls, Fences, Steps, TGSi and Edging

Construct garden walls, fences, steps, TGSi and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, concrete stairs, concrete strength, reinforcing and joint placement.

#### Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm. If laying unit pavers in a cement mortar bed on a concrete sub-base ensure that joints in paving match the location of joints in the concrete. Refer to engineer's details for heavy duty slabs, concrete stairs, concrete strength, reinforcing, and joint type and placement.

### SOFTWARES

#### Site Soil Testing

Where site soil is to be retrieved from site and stored on site for reuse, undertake at least two (2) soil tests in locations as advised by the Project Manager or as shown on the plans. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

#### Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the

surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

#### Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

### Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

### Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

### Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

#### Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

#### Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

#### Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

### Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

### Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants >25 lt: 1 off 38 x 38 x 1200mm;
- Semi-advanced plants >75 lt: 2 off 50x50x 1800mm;
- Advanced plants >100 lt: 3 off 50 x 50 x 2400mm.

### Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it form drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
  - Parallel long sides of level areas, with contours on slopes; and
  - To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.
- Species: *Stenotaphrum secundatum* Sir Walter Soft-leaf Buffalo.

### IRRIGATION

Scope: Unless otherwise noted or instructed irrigate all planted areas shown on plans including planters, tubs, gardens, turf and the like.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

### LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

### Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

### Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at

the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.

- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
  - o if ever possible;
  - o in wet weather or if wet weather is imminent;
  - o if target plants are still wet after rain;
  - o in windy weather; and
  - o if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- o Product brand / manufacturer's name,
- o Chemical / product name,
- o Chemical contents,
- o Application quantity and rate,
- o Date of application and location,
- o Results of application, and
- o Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
  - o Product brand / manufacturer's name,
  - o Fertiliser / product name,
  - o Application quantity and rate, and
  - o Date of application and location.

- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.

- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.

- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

- Erosion control** - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

### 411-417 Crown Street, Wollongong

SI No: SS21-4720

Abbrev.	Botanic Name	Common Name	Mature Size H x W	Pot Size	Density	Qty
GROUND FLOOR PLANT SCHEDULE						
TREES & PALMS						
<b>BnT</b>	<i>Betula nigra</i> 'Tropical'	Tropical Birch	15.0 x 6.0	200L	As Shown	3
<b>Ca</b>	<i>Cuapniopsis anacardioides</i>	Tuckeroo	15.0 x 15.0	200L	As Shown	3
<b>Ee</b>	<i>Elaeocarpus eumundii</i>	Smooth Quandong	15.0 x 10.0	200L	As Shown	4
<b>Er</b>	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	9.0 x 4.0	200L	As Shown	6
<b>LIN</b>	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle	4.0 x 6.0	200L	As Shown	4
<b>MLG</b>	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	5.0 x 4.0	200L	As Shown	5
<b>PcB</b>	<i>Pyrus calleryana</i> 'Bradford'	Bradford Ornamental Pear	15.0 x 10.0	200L	As Shown	2
<b>TIL</b>	<i>Tristania laurina</i> 'Luscious'	Water Gum	15.0 x 8.0	200L	As Shown	11

SHRUBS & ACCENTS						
<b>ASm</b>	<i>Acmena smithii</i> 'Minor'	Lilly Pilly	4.0 x 2.0	45L	As Shown	120
<b>Aa</b>	<i>Asplenium australasicum</i>	Birds Nest Fern	1.0 x 1.0	300mm	As Shown	65
<b>ARB</b>	<i>Alpinia caerulea</i> 'Red Back'	Red Back Native Ginger	2.0 x 1.0	200mm	As Shown	114
<b>Az</b>	<i>Alpinia zerumbet</i>	Variegated Shell Ginger	1.5 x 1.0	200mm	As Shown	70
<b>Ad</b>	<i>Arthropodium cirratum</i>	Renga Renga Lilly	0.9 x 0.9	200mm	As Shown	195
<b>CRS</b>	<i>Cordylina fruticosa</i> 'Red Sensation'	Cordylina	2.0 x 2.0	300mm	As Shown	7
<b>De</b>	<i>Doryanthes excelsa</i>	Gymea Lilly	2.0 x 2.0	200mm	As Shown	41
<b>HGN</b>	<i>Hymenoporum flavum</i> 'Gold Nugget'	Native Frangipani	0.75 x 0.75	200mm	As Shown	54
<b>Mp</b>	<i>Muraya paniculata</i>	Mock Orange	3.0 x 2.0	300mm	As Shown	55
<b>ROP</b>	<i>Rhapiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.5 x 1.0	200mm	As Shown	128
<b>VDF</b>	<i>Viburnum</i> 'Dense Fence'	Dwarf Viburnum	1.8 x 1.2	300mm	As Shown	23

GRASSES & GROUND COVERS						
<b>BSL</b>	<i>Blechnum gibbum</i> 'Silver Lady'	Silver Lady Fern	1.2 x 1.0	140mm	5/m <sup>2</sup> or 2/LM	17
<b>DT</b>	<i>Dianella tasmanica</i> 'Tasred'	NZ Flax	0.6 x 0.6	140mm	5/m <sup>2</sup> or 2/LM	122
<b>LEG</b>	<i>Linopae muscari</i> 'Evergreen Giant'	Turf Lilly	0.6 x 0.6	140mm	5/m <sup>2</sup> or 2/LM	151
<b>LKB</b>	<i>Lomandra hystrix</i> 'Katie Belles'	Katie Belles	1.5 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	300
<b>LIT</b>	<i>Lomandra longifolia</i> 'Tanika'	Mat Rush	0.8 x 0.8	140mm	5/m <sup>2</sup> or 2/LM	149
<b>Px</b>	<i>Philodendron xanadu</i>	Xanadu	1.0 x 1.0	140mm	5/m <sup>2</sup> or 2/LM	199
<b>PaN</b>	<i>Pennisetum alopecuroides</i> 'Nafray'	Fountain Grass	1.2 x 0.8	140mm	5/m <sup>2</sup> or 2/LM	183
<b>Vh</b>	<i>Viola hederacea</i>	Native Violet	0.1 x 0.5	140mm	5/m <sup>2</sup> or 2/LM	52
<b>WM</b>	<i>Westringia fruticosa</i> 'Mundi'	Creeping Coastal Rosemary	0.5 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	15

Level 1 PLANT SCHEDULE						
Trees						
<b>LIN</b>	<i>Lagerstroemia indica</i> 'Natchez'	White Crepe Myrtle	6.0 x 4.0	200L	As Shown	2
<b>MLG</b>	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	5.0 x 4.0	200L	As Shown	5

SHRUBS & ACCENTS						
<b>Ec</b>	<i>Echium candicans</i>	Pride of Maderia	1.8 x 1.2	300mm	As Shown	8
<b>Re</b>	<i>Russelia equisetiformis</i>	Firecracker Plant	1.8 x 0.45	200mm	As Shown	18
<b>WBG</b>	<i>Westringia fruticosa</i> 'Blue Gem'	Coastal Rosemary	1.5 x 1.3	200mm	As Shown	40

GRASSES & GROUND COVERS						
<b>Ad</b>	<i>Alternanthera dentata</i>	Alternanthera	0.7 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	19
<b>Cg</b>	<i>Carpobrotus glaucaescense</i>	Pig Face	0.2 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	45
<b>Cap</b>	<i>Chryscephalum apiculatum</i>	Yellow Buttons	0.3 x 0.5	140mm	5/m <sup>2</sup> or 2/LM	24
<b>DSF</b>	<i>Dichondra argentea</i> 'Silver Falls'	Silver Falls Kidney Weed	0.1 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	12
<b>HS</b>	<i>Hibbertia scandens</i>	Snake Vine	0.5 x 2.0	140mm	5/m <sup>2</sup> or 2/LM	12
<b>LIT</b>	<i>Lomandra longifolia</i> 'Tanika'	Mat Rush	0.8 x 0.8	140mm	5/m <sup>2</sup> or 2/LM	16
<b>Roi</b>	<i>Rosmarinus officinalis</i> 'Irene'	Creeping Rosemary	0.8 x 1.8	140mm	5/m <sup>2</sup> or 2/LM	20
<b>TaT</b>	<i>Trachelospermum asiaticum</i> 'Tricolour'	Asiatic Jasmine	0.5 x 2.0	140mm	5/m <sup>2</sup> or 2/LM	13
<b>WM</b>	<i>Westringia fruticosa</i> 'Mundi'	Creeping Coastal Rosemary	0.5 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	12

Level 5 PLANT SCHEDULE						
Trees						
<b>BnT</b>	<i>Betula nigra</i> 'Tropical'	Tropical Birch	15.0 x 6.0	200L	As Shown	2

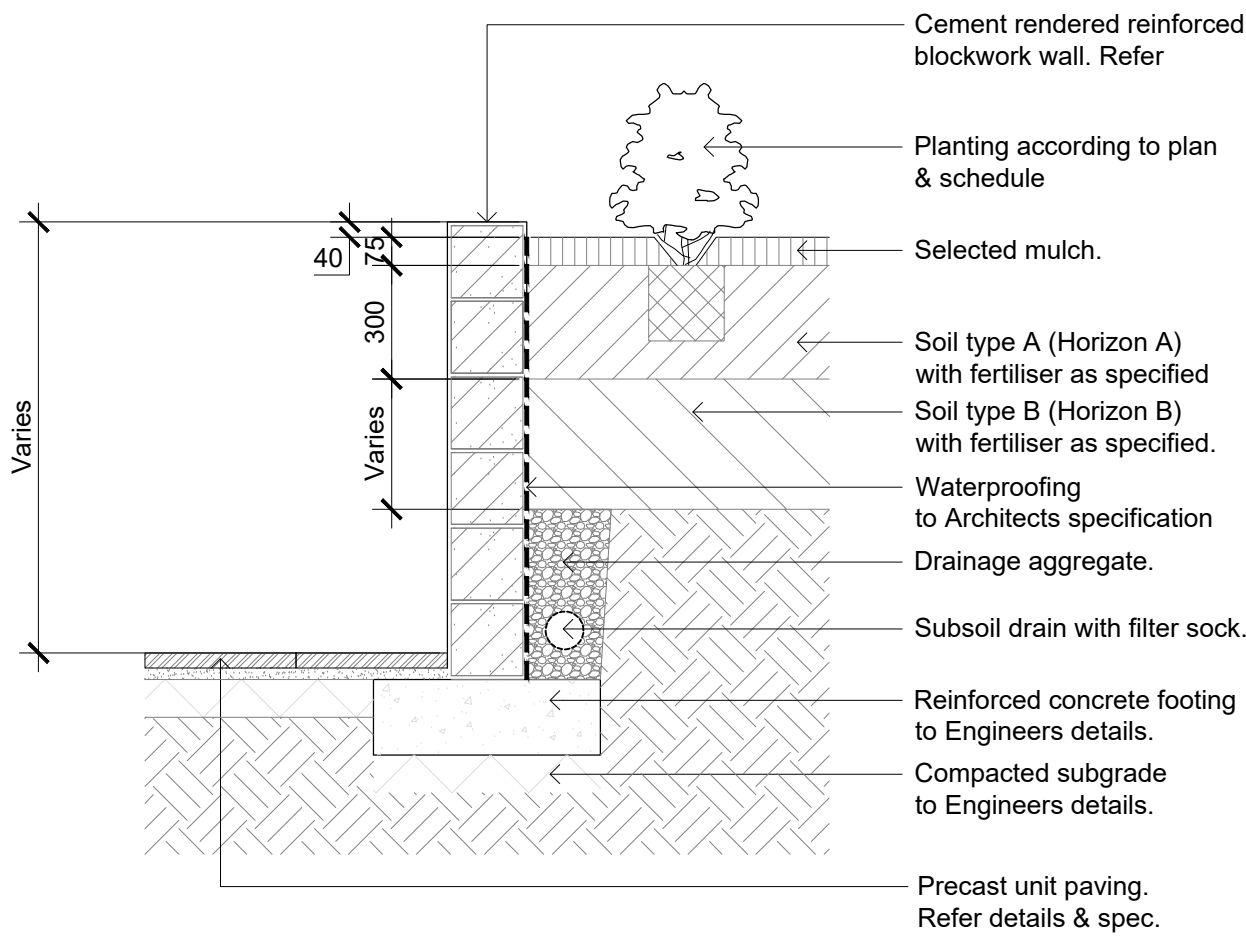
SHRUBS & ACCENTS						
<b>De</b>	<i>Doryanthes excelsa</i>	Gymea Lilly	2.0 x 2.0	200mm	As Shown	27
<b>Ec</b>	<i>Echium candicans</i>	Pride of Maderia	1.8 x 1.2	300mm	As Shown	14
<b>ROP</b>	<i>Rhapiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.5 x 1.0	200mm	As Shown	19
<b>Re</b>	<i>Russelia equisetiformis</i>	Firecracker Plant	1.8 x 0.45	200mm	As Shown	38
<b>WBG</b>	<i>Westringia fruticosa</i> 'Blue Gem'	Coastal Rosemary	1.5 x 1.3	200mm	As Shown	54

GRASSES & GROUND COVERS						
<b>Cg</b>	<i>Carpobrotus glaucaescense</i>	Pig Face	0.2 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	85
<b>Cap</b>	<i>Chryscephalum apiculatum</i>	Yellow Buttons	0.3 x 0.5	140mm	5/m <sup>2</sup> or 2/LM	7
<b>HS</b>	<i>Hibbertia scandens</i>	Snake Vine	0.5 x 2.0	140mm	5/m <sup>2</sup> or 2/LM	87
<b>Roi</b>	<i>Rosmarinus officinalis</i> 'Irene'	Creeping Rosemary	0.8 x 1.8	140mm	5/m <sup>2</sup> or 2/LM	54
<b>TaT</b>	<i>Trachelospermum asiaticum</i> 'Tricolour'	Asiatic Jasmine	0.5 x 2.0	140mm	5/m <sup>2</sup> or 2/LM	79
<b>TJ</b>	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5 x 2.0	140mm	5/m <sup>2</sup> or 2/LM	17
<b>WM</b>	<i>Westringia fruticosa</i> 'Mundi'	Creeping Coastal Rosemary	0.5 x 1.5	140mm	5/m <sup>2</sup> or 2/LM	82

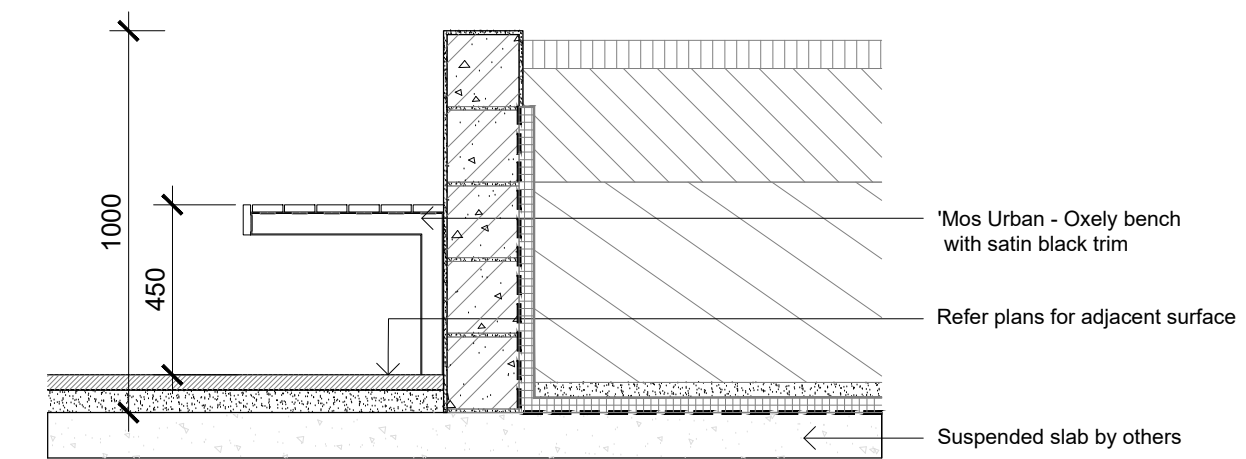




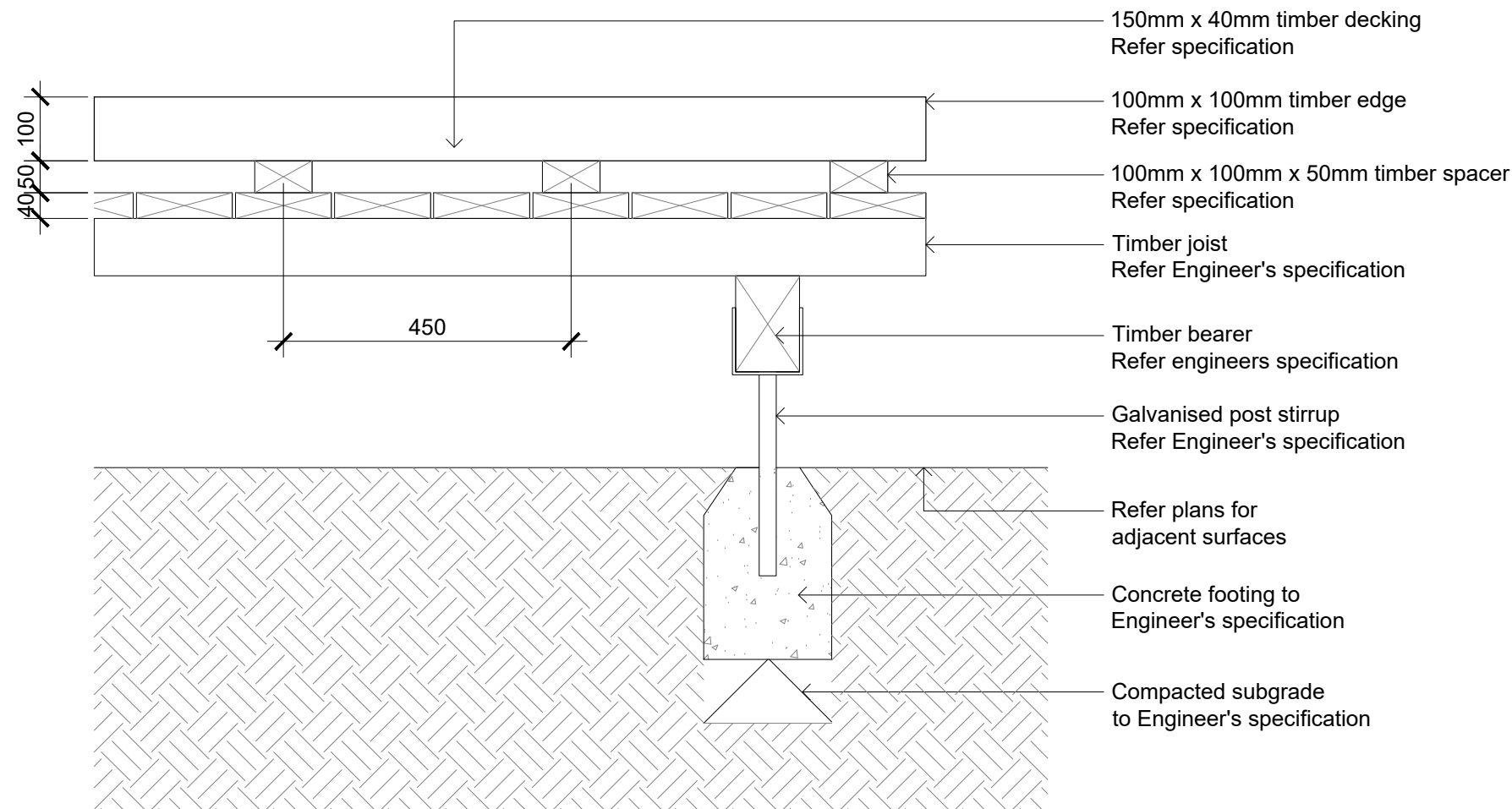




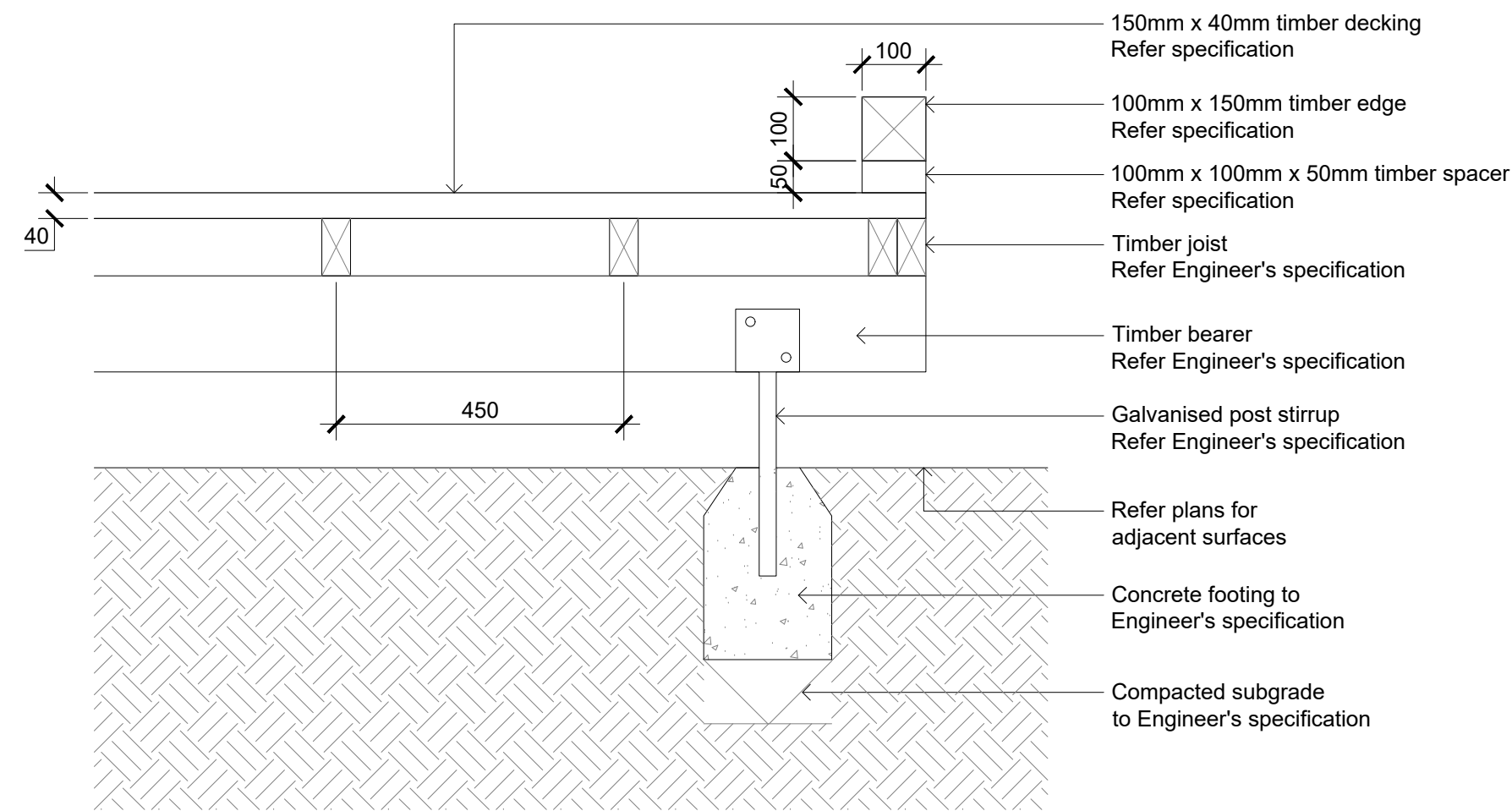
01 Section - Typical Raised Planter Bed  
502 1:20



02 Level 1 Terrace Bench  
502 1:20 SECTION



03 RAISED TIMBER DECK - SECTION AA  
502 SCALE 1:10



04 RAISED TIMBER DECK - SECTION BB  
502 SCALE 1:10

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

C	For Revised DA	BS	RS	30.06.2023
B	For DA Approval	NP	RS	06.12.2021
A	For DA Approval	NP	RS	09.07.2021
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:

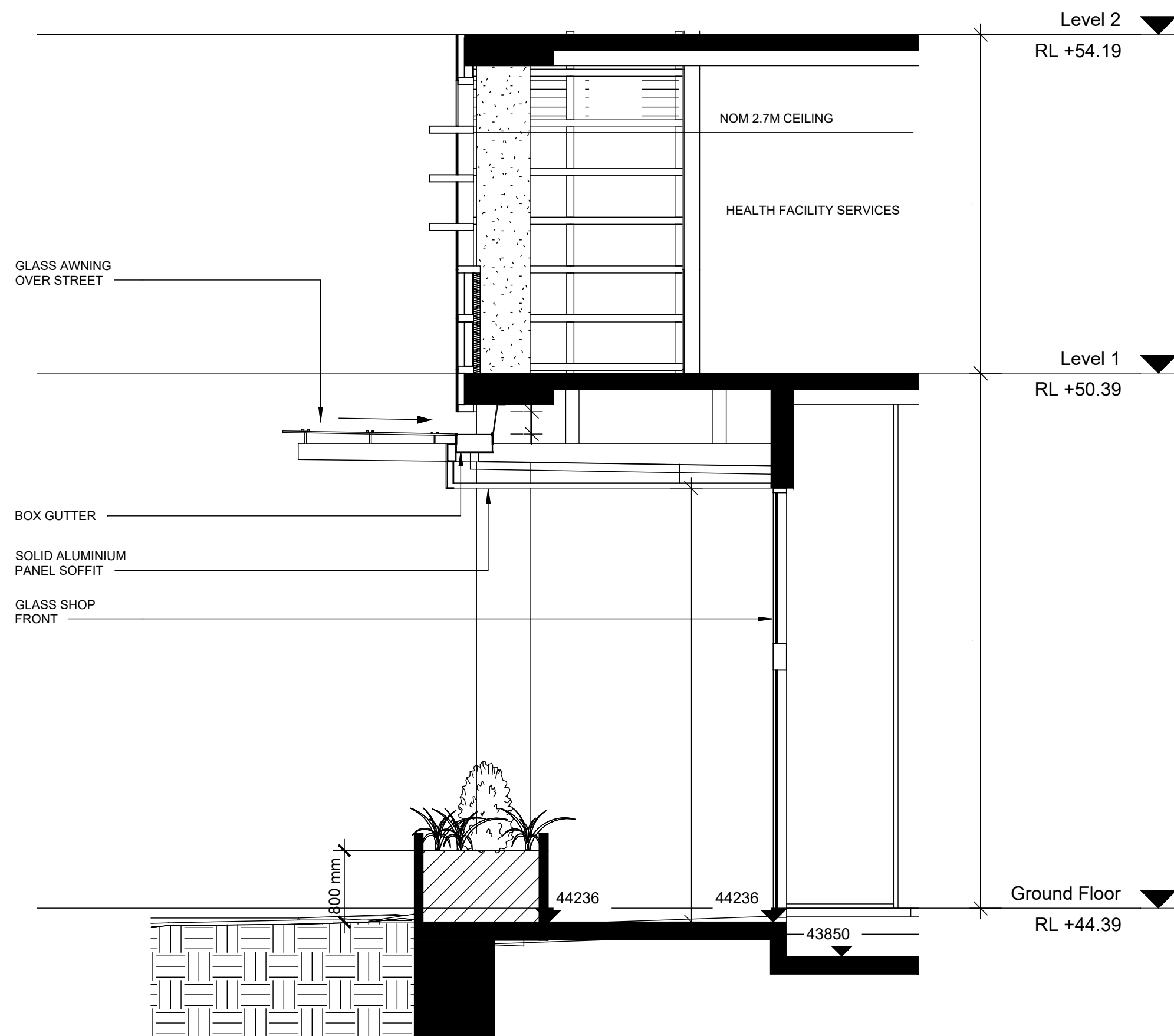


Client: Coveston Developments Pty Ltd  
Project: Proposed Medical Facility  
411 - 417 Crown Street,  
Wollongong NSW 2500

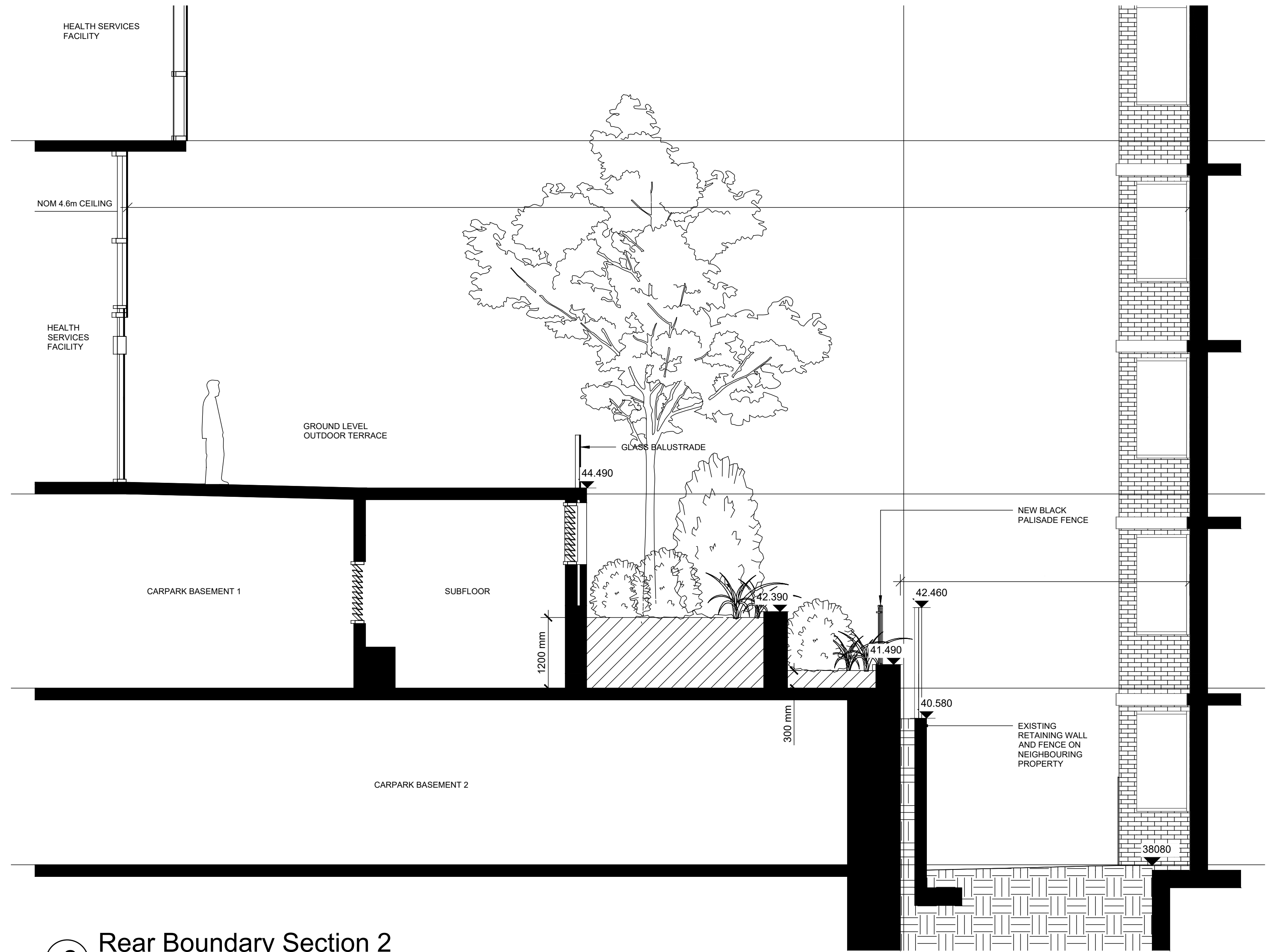
Drawing Name: Landscape Details

DEVELOPMENT APPLICATION  
Scale: Varies - As Shown  
Job Number: SS21-4720  
Drawing Number: L-502  
Issue: C





1 Front Facade Section  
1:50



2 Rear Boundary Section 2  
1:50

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LEGEND

Key Plan:

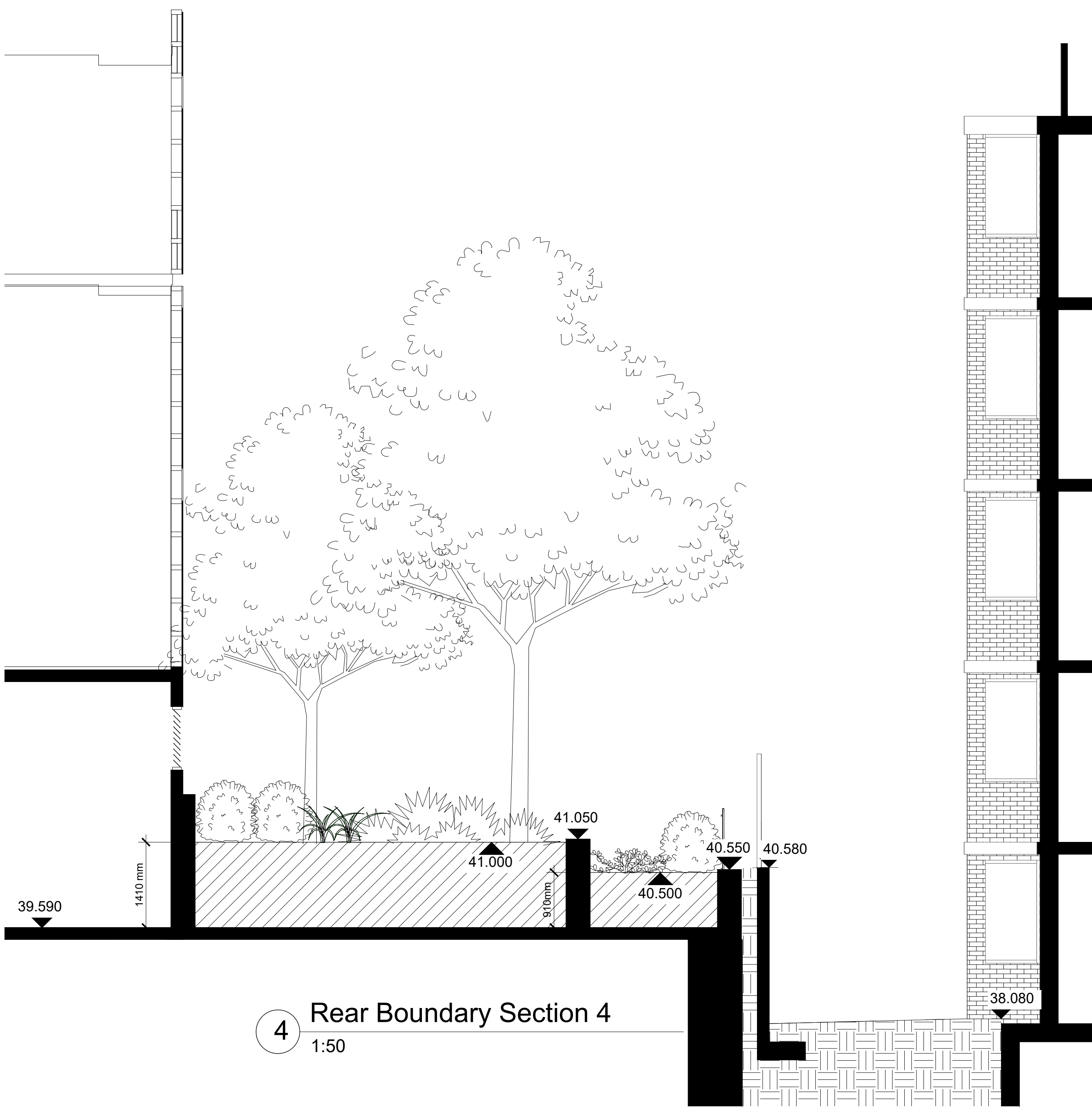
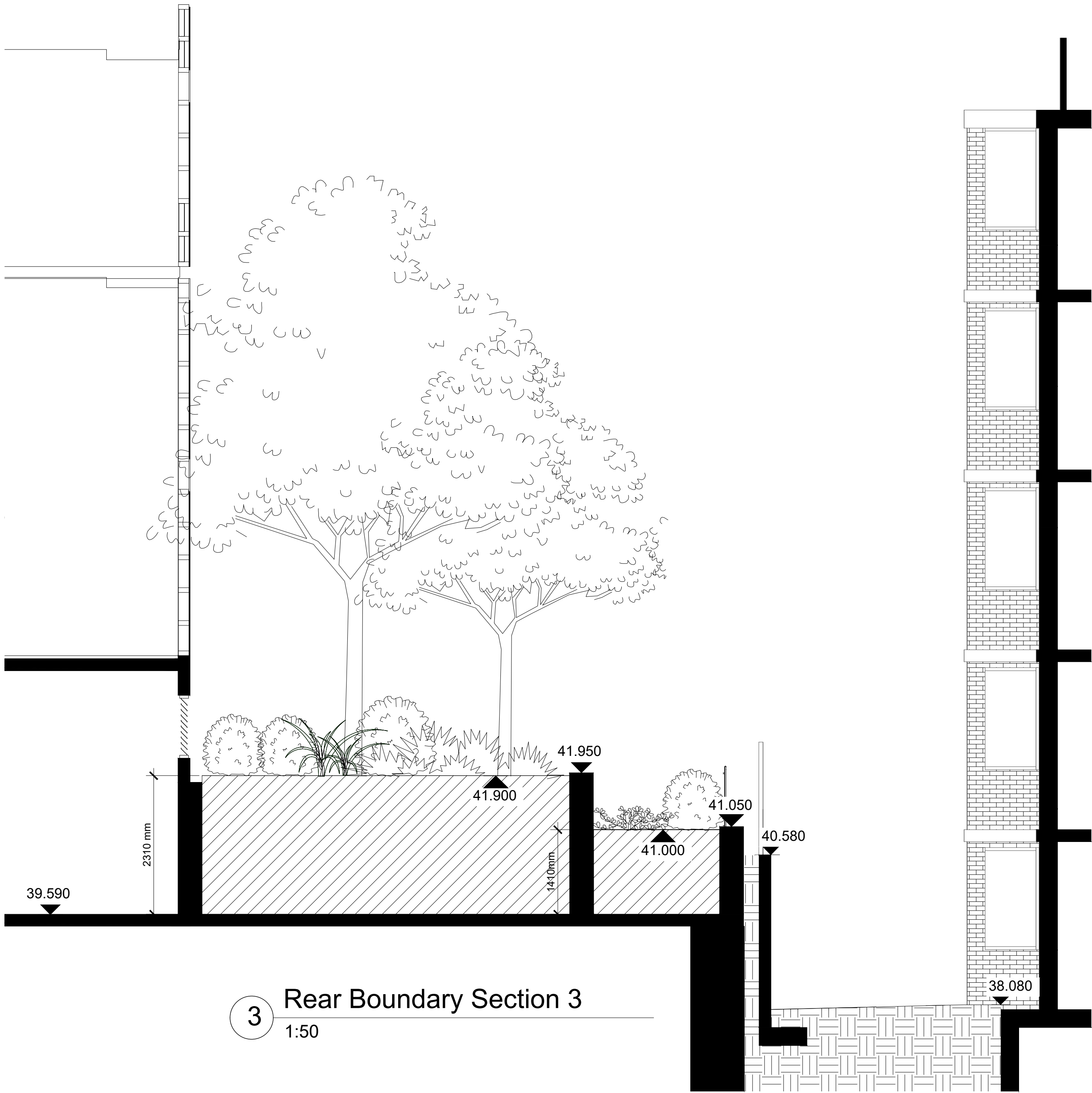


Client: Coveston Developments Pty Ltd  
Project: Proposed Medical Facility  
411 - 417 Crown Street,  
Wollongong NSW 2500

Drawing Name: Landscape Sections

DEVELOPMENT APPLICATION  
Scale: Varies - As Shown  
Job Number: SS21-4720  
Drawing Number: L-700  
Issue: A





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LEGEND

A	For Revised DA	BS	RS	30.06.2023
Issue	Revision Description	Drawn	Check	Date

Key Plan:

S I T E I M A G E

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Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**Coveston Developments Pty Ltd**

Project:  
**Proposed Medical Facility  
411 - 417 Crown Street,  
Wollongong NSW 2500**

Drawing Name:  
**Landscape Sections**

DEVELOPMENT APPLICATION

Scale: **Varies - As Shown**  
Job Number: **SS21-4720**  
Drawing Number: **L-701**  
Issue: **A**



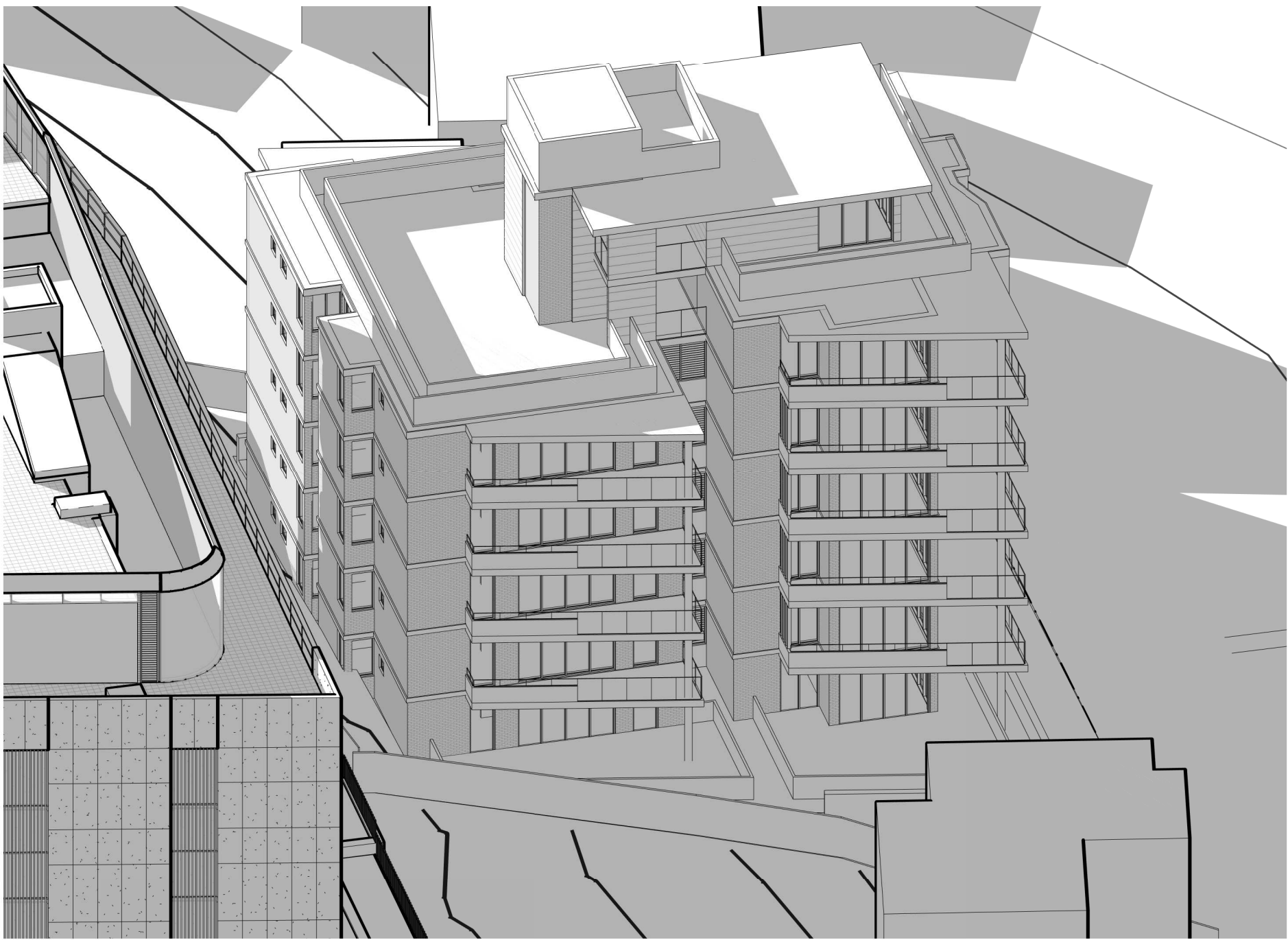




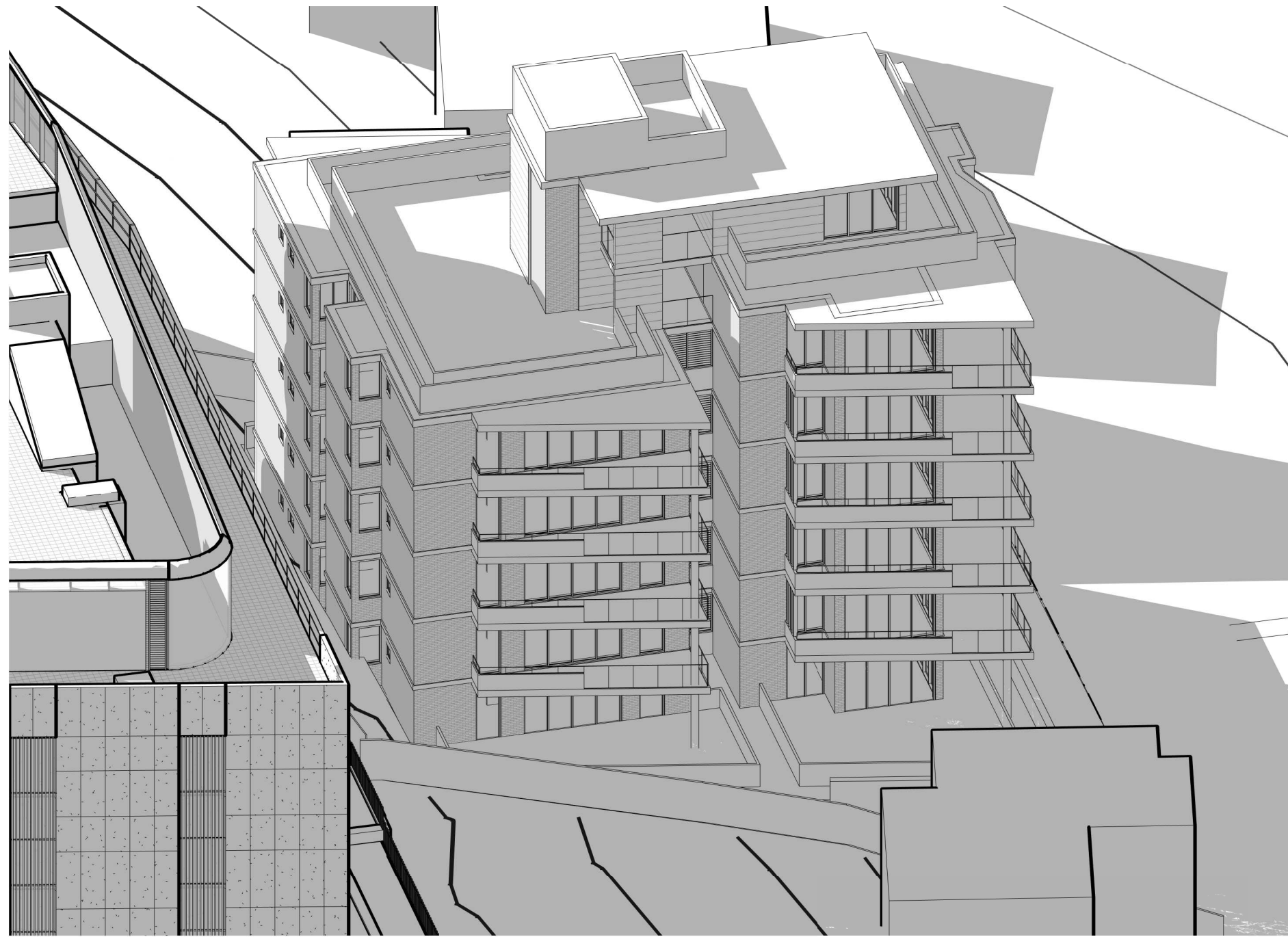
3D SOLAR ANALYSIS - 28-30 STAFF STREET

NOTE  
All dimensions to be verified prior to commencement of any shop drawings or fabrication. Shop drawings are to be approved before construction. All dimensions are in millimeters unless otherwise noted. Annotated dimensions are to be used in preference to scaling from drawings. This drawing is the property of ANTHONY VAVAYIS + ASSOCIATES PTY LTD and any reproduction or distribution without prior consent constitutes a breach of copyright.

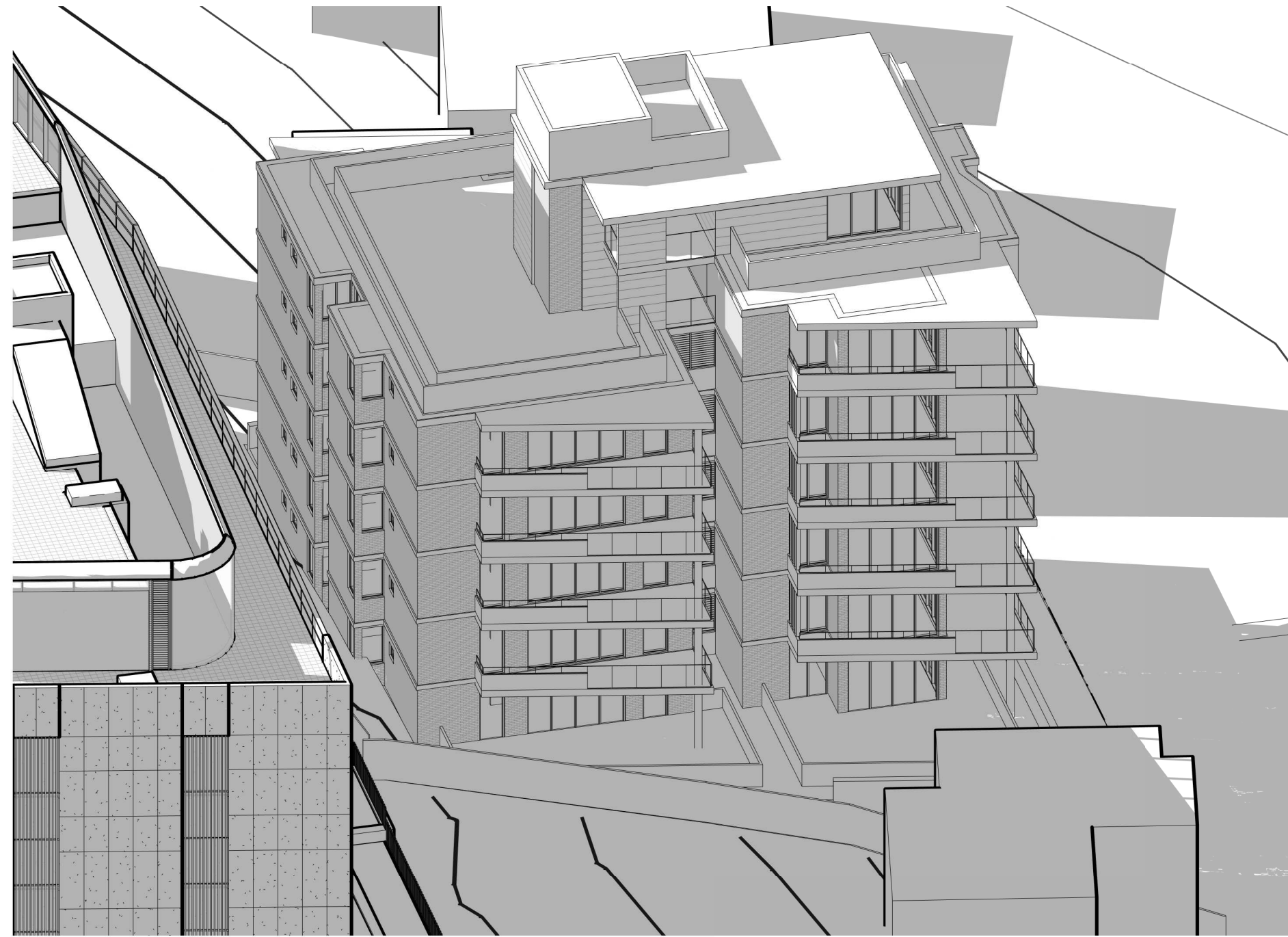
LEGEND



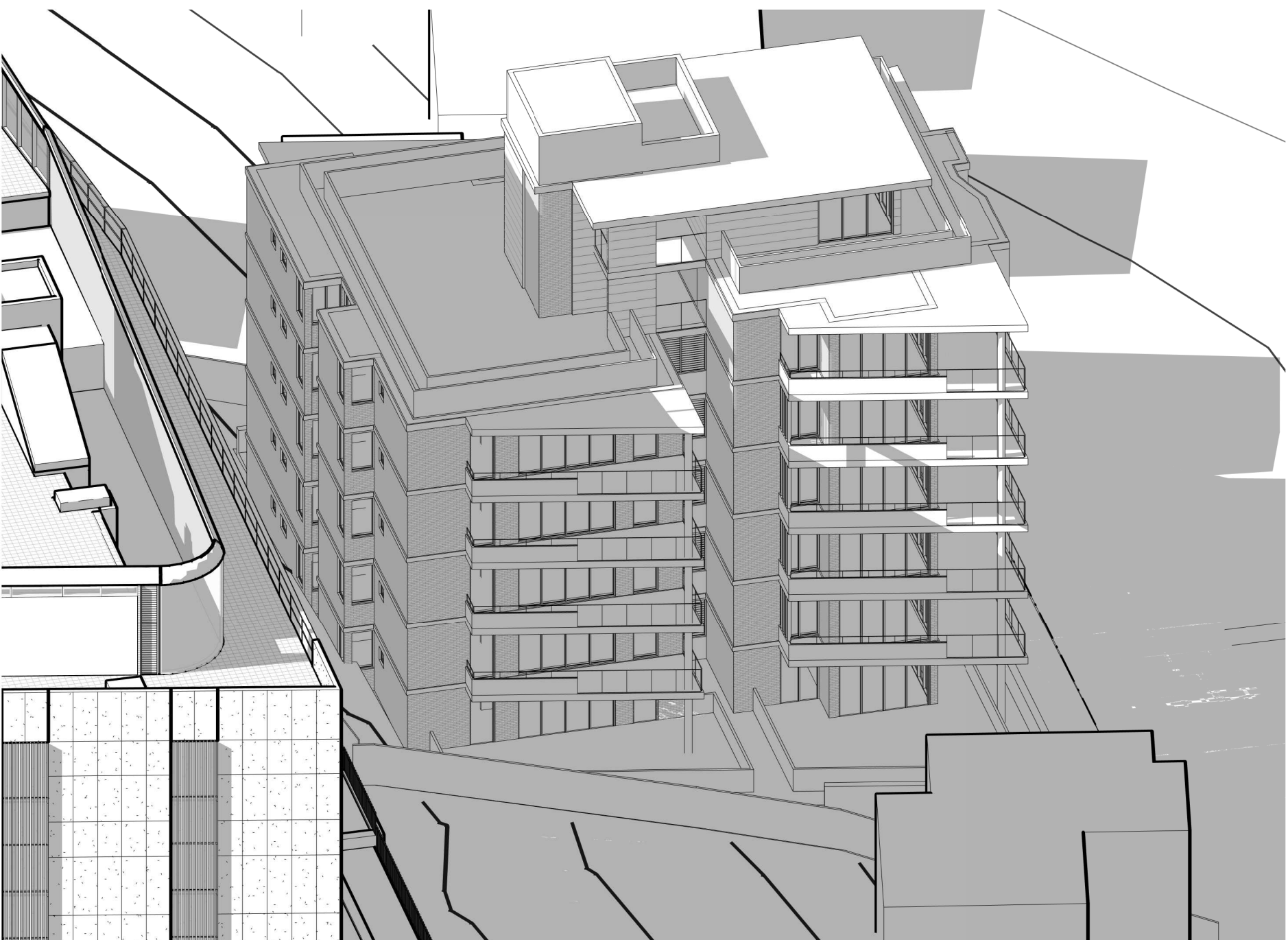
1 28 Staff Street - 9AM



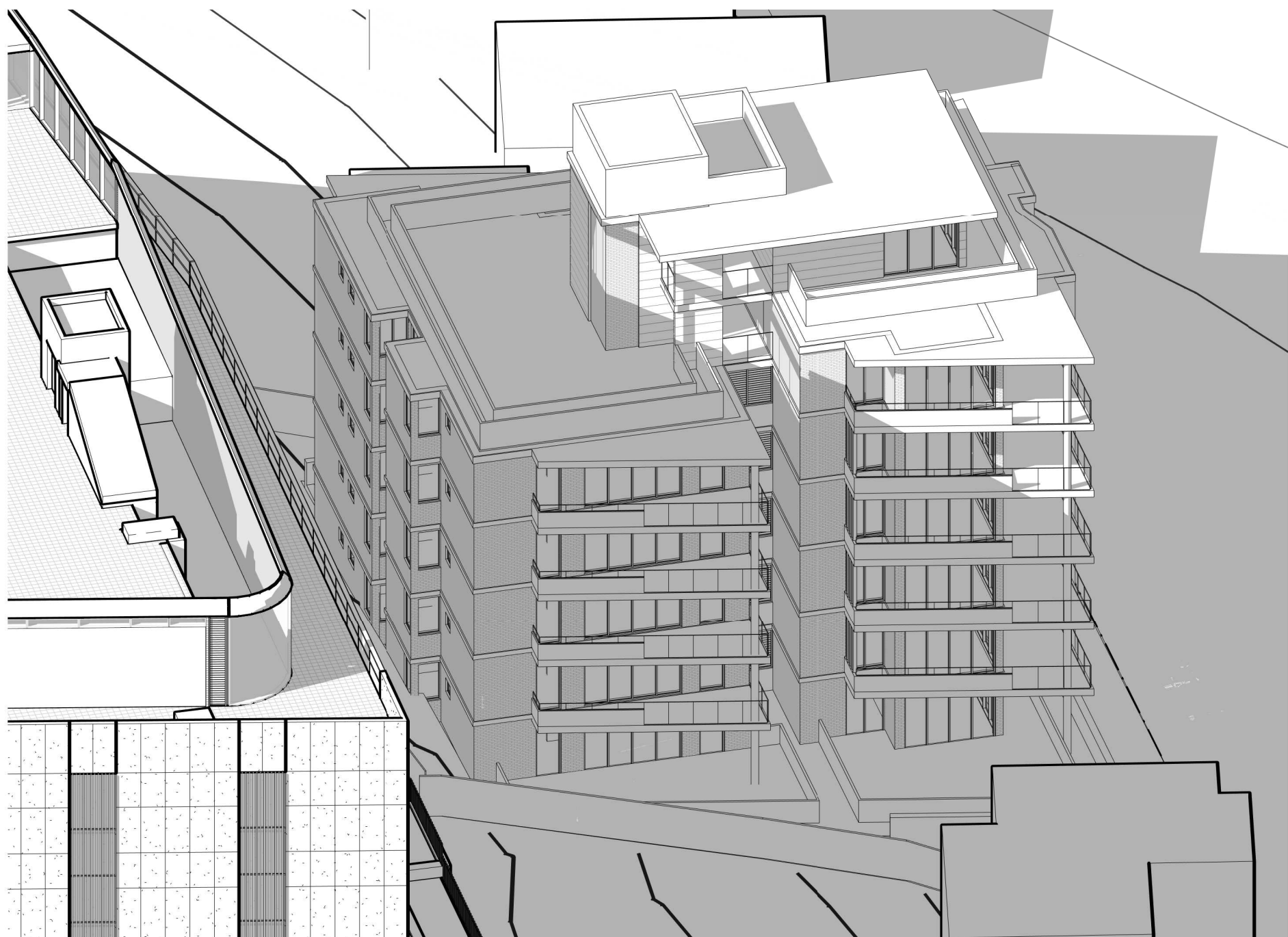
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3 28 Staff Street - 11AM



4 28 Staff Street - 12PM



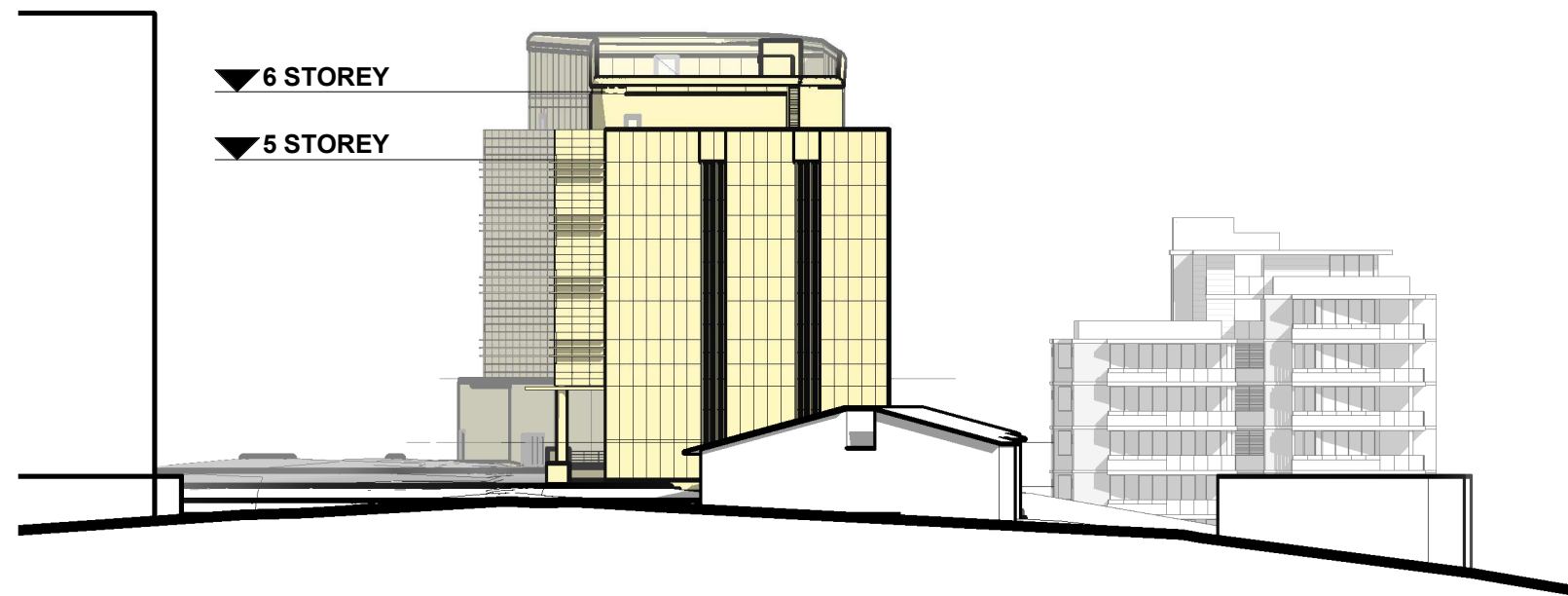
5 28 Staff Street - 1PM



6 28 Staff Street - 2PM



7 28 Staff Street - 3PM



8 Key Elevation  
1 : 500

REVISION		
REV	DATE	AMENDMENT
1	2020/05/05	ISSUE FOR DA

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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

**PROJECT TITLE**  
Proposed Medical Facility  
411-417 Crown Street, Wollongong


**CLIENT**  
Coveston Developments Pty Ltd


**DRAWING TITLE**  
3D Solar Analysis - 28 Staff Street

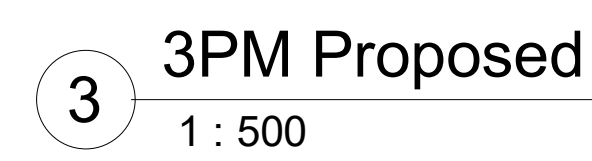
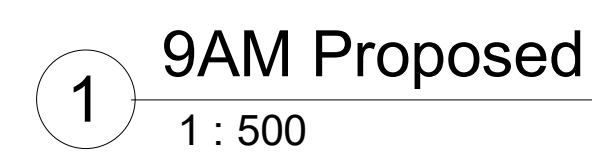
**SCALE @ B1** 1 : 500 **DATE** MAY 2020  
**DRAWN BY** DL **PROJECT** 16011



**LEGEND**

 SHADOWS CAST BY EXISTING BUILDINGS

 SHADOWS CAST BY PROPOSED BUILDINGS



  
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SCALE @ B1 As indicated	DATE	MAY 2020
DRAWN BY Author	PROJECT	16011